



**Planning Commission
Regular Meeting
November 21, 2023
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - October 17, 2023 Regular Meeting
6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
 - A. Thering updates from Board of Trustees
 - B. Buckley updates from ZBA
 - C. Community and Economic Development Monthly Report
 - D. Other Reports
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. PFINALSPR23-02 Final site plan application for Hal Banks proposed building addition for indoor golf, archery, office space and related storage located at 2160 E. Remus Road.**
 - a. Introduction by staff
 - b. Updates from the applicant
 - c. Commission review of the site plan
 - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
 - B. PRES23-04 Preliminary site plan application for a proposed 6,000 square-foot building addition and associated site improvements for the Wal-Mart retail store located at 4730 Encore Blvd.**

- a. Introduction by staff
 - b. Updates from the applicant
 - c. Commission review of the site plan
 - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
- C. PSPR22-04 Request for approval of a 365 calendar day extension to October 15, 2024 for the approved PSPR22-04 final site plan for the new Krist Oil Filling Station at 4972 E. Pickard Rd. (PID 14-014-20-041-01).**
- a. Introduction by staff
 - b. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
9. OTHER BUSINESS
- A. **Continuation of a process to update the Master Plan**
 - a. Introduction by staff
 - b. Discussion by the Commissioners
10. EXTENDED PUBLIC COMMENT: Restricted to (5) minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT

Hybrid Meeting Instructions for the Charter Township of Union Planning Commission

The public can view all Union Township meetings live by clicking on our [YouTube Channel](#). For those who would like to participate, you can do so via Zoom.

[Click here](#) to participate in the Zoom Meeting via computer or smart phone. (Meeting ID Enter “839 8031 3172” Password enter “240465”). Access to the electronic meeting will open at 6:50 p.m. and meeting will begin at 7:00 p.m.

Telephone conference call, dial (312-626-6799). Enter “839 8031 3172” and the “#” sign at the “Meeting ID” prompt, and then enter “240465” at the “Password” prompt. Lastly, re-enter the “#” sign again at the “Participant ID” prompt to join the meeting.

- All public comments for items on the agenda will be taken at the Public Comment and any issue not on the agenda will be taken at the Extended Public Comment section of the Agenda.
- Computer/tablet/smartphone audience: To indicate you wish to make a public comment, please use the “Reactions” icon. **Next, click on the “Raise Hand” icon** near the bottom right corner of the screen.



- **To raise your hand for telephone dial-in participants, press *9.** You will be called on by the last three digits of your phone number for comments, at which time you will be unmuted by the meeting moderator.
- Please state your name and address for the minutes and keep public comments concise.

You will be called upon once all in-person comments have been made, at which time you will be unmuted by the meeting moderator.

Persons with disabilities needing assistance should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance can contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2024
2-Chair	Phil	Squatrito	2/15/2026
3-Vice Chair	Ryan	Buckley	2/15/2025
4-Secretary	Doug	LaBelle II	2/15/2025
5 - Vice Secretary	Tera	Albrecht	2/15/2024
6	Stan	Shingles	2/15/2024
7	Paul	Gross	2/15/2025
8	Nivia	McDonald	2/15/2026
9	Jessica	Lapp	2/15/2026
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Liz	Presnell	12/31/2025
2 -Vice Chair	Richard	Barz	12/31/2025
3- PC Rep	Ryan	Buckley	2/15/2025
4 -	Vacant		12/31/2023
5 -	Eric	Loose	12/31/2024
Alt. #1	David	Coyne	12/31/2024
Alt #2 (BOT Repesantive)	Jeff	Brown	11/20/2024
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2024
2	Sarvjit	Chowdhary	12/31/2024
3	Bryan	Neyer	12/31/2024
Alt #1	Randy	Golden	12/31/2024
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herren	12/31/2023
2	Joseph	Schafer	12/31/2023
3	Andy	Theisen	12/31/2023
*Term begins 1/1/2024	William	Gallaher	12/31/2025
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2024
2	John	Dinse	12/31/2025
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2027
2	Lynn	Laskowsky	12/31/2025



Board Expiration Dates

EDA Board Members (9 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-Chair	Thomas	Kequom	4/14/2027
2-VC/BOT Rep	Bryan	Mielke	11/20/2024
3	James	Zalud	4/14/2027
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2027
6	Marty	Figg	6/22/2026
7	Sarvjit	Chowdhary	6/22/2027
8	Jeff	Sweet	2/13/2025
9	David	Coyne	3/26/2026
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2025
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2025
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Stan	Shingles	2/15/2024
3 - Township Resident	Jeff	Siler	8/15/2023
4 - Township Resident	vacant seat		10/17/2022
5 - Member at large	Phil	Hertzler	8/15/2023
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1-City of Mt. Pleasant	John	Zang	12/31/2023
2-City of Mt. Pleasant	Judith	Wagley	12/31/2025
1-Union Township	Stan	Shingles	12/31/2026
2-Union Township	Allison	Chiodini	12/31/2025
1-Mt. Pleasant Schools	Lisa	Diaz	12/31/2024
1-Member at Large	Mark	Stansberry	2/14/2025
2- Member at Large	Michael	Huenemann	2/14/2025

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting Minutes

A regular meeting of the Charter Township of Union Planning Commission was held on October 17, 2023, at 7:00 p.m. at the Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present:

Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, and Squattrito

Excused:

Buckley and Thering

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

Approval of Agenda

Shingles moved **Gross** supported to approve the agenda as presented. **Vote: Ayes: 7. Nays: 0. Motion Carried**

Approval of Minutes

Gross moved **McDonald** supported to approve the regular meeting minutes from September 19, 2023 as presented. **Vote: Ayes: 7. Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering – No updates were given.
- B. ZBA updates by Buckley – No updates were given.
- C. Community and Economic Development Monthly Report
- D. Other Reports – N/A

Public Comment

Open 7:05 p.m.

No comments were offered.

Closed 7:05 p.m.

New Business

A. MINORSPR23-11 Minor Site Plan for Michael Engineering 5625 Venture Way – Revised “As-Built Landscaping Plan” sheet dated 8/15/2023

- a. Introduction by Staff
- b. Updates from the applicant
- c. Commission review of the revised landscape plan sheet
- d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

Nanney introduced the PMINORSPR23-11 Minor site plan for Michael Engineering at 5625 Venture Way. During construction of the approved project, the owner of Michael Engineering discovered that the landscaping design was not consistent with their needs and in conflict with previously unidentified

underground communications cables, and so proposed a revised landscaping plan with a request for approval of modifications per Section 10.7 (Modifications). Staff found that the revisions to the landscaping plan are in accordance with the criteria for modifications in Section 10.7 and that the minor site plan meets the requirements of Section 14.2.P (Required Site Plan Information and Section 14.2.S (Standards for Site Plan Approval).

Eric Pruitt, owner of Michael Engineering, was available for questions. Deliberation by the commissioners.

Shingles moved **Gross** supported to approve the PMINORSPR23-11 minor site plan’s revised “As Built Landscaping Plan” sheet dated August 15, 2023 for Michael Engineering located at 5625 Venture Way in the northeast quarter of Section 13 and in the I-2 (General Business) District, finding that the proposed modifications are consistent with Section 10.7 and appropriate given the new information about conflicts with previously unidentified underground infrastructure. **Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, and Squatrito. Nays: 0. Motion carried.**

B. PB230227 Grading Permit (Garber), 2160 E. Remus Rd. – Request to authorize incidental site clearing and grading per the approved PRES23-02 preliminary site plan dated 8/29/2023 from Hal Banks for a 4,000 square-foot building addition for indoor golf, archery, range, office, and related storage

- a. Updates by staff and applicant
- b. Commission deliberation and action (authorize subject to Section 14.2.J conditions, reject the request, or postpone action)

Nanney introduced the PB230227 Grading Permit for site grading at 2160 E. Remus Rd. This is related to the approved PRES23-02 Preliminary Site Plan for proposed addition and site improvements for indoor golf, archery range, office, and storage. An application for final site plan approval has not yet been submitted, but Garber Contracting recently submitted a grading permit for tree stump removal and site grading. The applicant did not specifically request authorization for limited work during the preliminary site plan approval. Staff has no objection from a planning and project implementation perspective for the Planning Commission to authorize the incidental site clearing and grading consistent with the approved PRES23-02 preliminary site plan, subject to compliance with the 4 conditions in Section 14.2.J. of the Zoning Ordinance.

Deliberation by the commissioners.

McDonald moved **Lapp** supported to authorize incidental site clearing and grading as proposed by the PB230227. **Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, and Squatrito. Nays: 0. Motion carried.**

C. Adoption of the 2024 Planning Commission meeting calendar

Shingles moved **Albrecht** supported to adopt the Planning Commission’s Meeting Schedule for 2024. **Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, and Squatrito. Nays: 0. Motion carried.**

Other Business

D. Continuation of a Process to Update the Master Plan

- a. Introduction by staff

b. Discussion by Commissioners

Nanney announced that Union Township was one of 21 communities to receive a \$45,000 reimbursable grant fund award from the Rural Readiness Grant Program to improve development along the US-127 Corridor. Staff is compiling up-to-date data book of population, housing, maps of existing conditions and other demographics to present at a later meeting.

Discussion by the commissioners.

Extended Public Comments

Open: 7:39 p.m.

Lori Rogers, 2248 Cornerstone Dr., introduced herself and would like to get more involved.

Closed 7:39 p.m.

Final Board Comment

Commissioner LaBelle complimented the staff on the work to receive the Rural Readiness Grant. He also had questions about why the landscaping for Michael Engineering had to come before the Planning Commission and why some information regarding projects brought to the Township is considered confidential and other information is shared in the monthly report, which were answered by Mr. Nanney.

Adjournment – Chair Squattrito adjourned the meeting at 7:58 p.m.

APPROVED BY:

(Recorded by Tera Green)

Doug LaBelle – Secretary
Tera Albrecht – Vice Secretary



Department Monthly Report

Department: Community and Economic Development

Month/Year: **October 2023**

Global Ends

- 1.1 Community well-being and the common good
- 1.2 Prosperity through economic diversity, cultural diversity, and social diversity
- 1.3 Safety
- 1.4 Health
- 1.5 Natural environment
- 1.6 Commerce

Prior Month Activities

Economic Development Activities (1.1, 1.2, 1.3, 1.6):

- The Community and Economic Development Director is working with State officials to take care of the administrative details for the \$45,000 Rural Readiness Grant to support pre-development activities to expand our Master Plan update project to include more detailed evaluation and prioritization of infrastructure improvements for potential new industrial/research/business park development along the US-127 corridor. A draft agreement for the terms of the grant award is anticipated to be received in early November from MDARD staff.
- The Community and Economic Development Director attended the Middle Michigan Development Corporation's "Coming Home" workforce development event held on 10/19/2023 in conjunction with the CMU Homecoming Week.
- The Community and Economic Development Director attended the Mt. Pleasant Area Convention and Visitors Bureau's Tourism Awards Luncheon held on 10/19/2023 where various Destination Development grant awards were announced, including additional funding for the Mt. Pleasant Airport's "Crew Car" courtesy vehicle.
- The Community and Economic Development Director attended and spoke briefly to welcome the many attendees to the Township-sponsored Mt. Pleasant Area Chamber of Commerce "Business After Hours" event held on 10/19/2023 in the corporate hanger at the Mt. Pleasant Airport. The Township's new community promotion display banner was displayed at this event.
- The Building Services Clerk supported the Community and Economic Development Director and EDA Board and served as contact person for East DDA District service contractors.

Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- During their regular October 17, 2023 meeting, the EDA Board:
 - Adopted the FY2024 East DDA Fund and West DDA Fund budgets, and recommended the adopted budgets to the Board of Trustees for final approval.
 - Adopted year-end amendments to FY2023 East DDA Fund and West DDA Fund budgets, and recommended the adopted amendments to the Board of Trustees for final approval.
 - Adopted their regular and informational meeting calendar for 2024.

Building Services (1.1, 1.2, 1.3, 1.4, 1.6):

- The Building Official provided the following services during the month:
 - 51 Building Inspections (1.3)
 - 31 Permits issued (1.3)
 - 1 Certificate of Occupancy (1.3, 1.4, 1.5)
 - Follow up phone calls
- The Building Official participated in monthly professional development activities (1.1, 1.3, 1.6)
- The Building Official met with multiple residents/contractors to answer potential project questions.
- The Building Services Clerk provided the following services during the month:
 - Served as a second Township Hall contact person for the public and helped process payments at counter and through mail.
 - Assisted homeowners and contractors with building permit applications and coordinated with the Building Official, Zoning Administrator, Assessor, and Public Services Department as needed to facilitate timely reviews of permit applications.
 - Administrative support for Rental Inspector
 - Prepared monthly Census and HBA reports for building permits

Rental Inspection Services (1.1, 1.2, 1.3, 1.4):

- Site visits with inspections or re-inspections at residential complexes, hotels, various single-family units, and other regulated premises (approx. 684 units).
- Inspections on apartment complexes & hotels (fire alarm and sprinkle report reviews).
- Expired certificate scheduling.
- Fielding questions about the rental program in the Township from the community, potential/current landlords, and tenants.
- Informing various departments of items that may be of concern or of note that have been observed throughout the Township (tall grass, construction without permits, site plan verifications, etc.).
- Contacts with local inspectors, enforcement, and fire personnel.
- Working through tenant complaints, working with both parties to get relief.
- Sharing with contacts about our updated Rental Housing Information webpage, as well as sharing the need to contact the office for items that may need other department insight or approvals.
- The Rental Inspector assisted the Building Official by photographing structural elements in a pre-slab inspection for 5270 E Remus Rd. (1.3, 1.6)

Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5, 1.6):

- The Zoning Administrator provided the following services:
 - (10) Zoning review approval letters for building permit applications.
 - (3) Miss Dig notifications for various projects. Owners contacted for permits on projects.
 - Zoning Compliance letter for 4237 Corporate way.
 - Grading permit for 2160 regarding landscaping removal and other grading items approved with a preliminary site plan. No grading near utilities or for stormwater management permitted.
 - Minor site plan for additional pole light at 4730 Encore Blvd for Sam's Club Filing Station security lighting.
 - Investigated a complaint of illegal signage at the corner of E. Broadway Rd. and Rosewood Dr., but found no violations of the Township's sign regulations in the Zoning Ordinance.
- The Community and Economic Development Director and Zoning Administrator met with developers remotely via the Zoom app about several potential projects on E. Bluegrass Road and Encore Blvd.

- The Community and Economic Development Director and Zoning Administrator met with the Tiny Homes for the Homeless organization and the Building Official, Township Manager, and Mt. Pleasant Fire Chief to discuss the organization’s development proposal, applicable code and ordinance requirements, and the Planned Unit Development approval process.
- The Zoning Administrator attended the Michigan Association of Planning Annual State Conference October 4-6 for professional development purposes.
- The Community and Economic Development Director participated in a webinar hosted by the Michigan Townships Association to learn more about proposed legislation to pre-empt virtually all local control over development and operation of utility-scale solar and wind energy installations.

Ordinance Enforcement Activities (1.1, 1.3):

- 386 Bluegrass Road. - Excessively tall grass and junk in the yard. The owner was notified of the violations and has mowed the grass. The owner is working with Township staff to complete the removal of junk from the premises.
- 5401 S. Lincoln Rd. – Pole barn accessory building constructed without permits and in violation of maximum allowable height and floor area limitations. The ZBA approved a variance for the height violation with a plan to correct the total floor area violation. A building permit has been issued but the owner’s contractor has not yet completed the required modifications.
- 5683 E. Broadway Rd. - Complaint about multiple cars for sale in the front yard and public road right-of-way. The owner was contacted and affirmed they will move the cars off the property.
- 1805 Belmont Dr. – Rental property without required rental housing certification and special use permit for a short-term rental as advertised. The owner has provided an initial response to Township staff to indicate that the unit is not currently rented. Additional follow up is planned.
- 5339 E. Broadway Rd. – Rental property without required rental housing certification and special use permit for a short-term rental as advertised. . The owner met with Township staff to discuss the process of obtaining the necessary certification and special use permit approvals.

Planning Commission Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- During their regular October 17, 2023 meeting, the Planning Commission:
 - Approved the PMINORSR23-11 Minor Site Plan for Michael Engineering revised landscaping plan located at 5625 Venture Way with requested modifications.
 - Approved the request from the contractor to authorize limited site grading associated with the PRESR23-02 preliminary site plan approval for a proposed building addition for indoor golf, archery, office space and related storage located at 2160 E. Remus Road.
 - Adopted their regular meeting calendar for 2024.

Zoning Board of Appeals Activities (1.1):

- The regular October 4, 2023 meeting was canceled due to a lack of agenda items.

Sidewalks, Pathways, and Parks & Recreation Plan/Program Activities (1.1, 1.2, 1.3, 1.4):

- No Sidewalks and Pathways Prioritization Committee activity in October.
- The Community and Economic Development Director attended the final quarterly meeting of the Cultural and Recreational Commission (CRC) held in the Morey Courts conference room, where a proposed reorganization and consolidation of the management structure for Morey Courts, the Martin Ice Arena, and the new Gymnastics Addition was presented. This change is intended to reduce administrative and accounting costs, to streamline ordering, and to allow more efficient assignment of employees across the Isabella Sportsplex as needed.
- The Community and Economic Development Director and Township Manager attended the ribbon cutting hosted by Isabella County for the Meridian Park expansion on 10/26/2023.

Other Activities:

- 1667 Belmont Dr. - Complaint of water drainage accumulating in their driveway apron within the public road right-of-way. Township staff reviewed the situation and advised the resident to work with a contractor and the Isabella County Road Commission to make changes needed to correct impediments to proper drainage at this location.
- Under the Community and Economic Development Director's direction, the Building Services Clerk is working with representatives from the Michigan Department of Technology, Management & Budget Analyst and Graphic Sciences to finalize project details to initiate scanning of historical documents and files in basement. (1.1, 1.3, 1.5)
- The Director meets weekly with the Community and Economic Development Department staff as a group and regularly on an individual basis to provide guidance, coordinate provision of services, ensure good intra- and inter-departmental communication, and identify and resolve issues. (1.1)
- The Community and Economic Development Department received and responded to five (5) Freedom of Information Act (FOIA) requests during the month. (1.2)
- The Community and Economic Development Director attended the final quarterly meeting of the Cultural and Recreational Commission of Isabella County for 2023, which was held on

Current Month Anticipated Activities**Economic Development Activities (1.1, 1.6):**

- The Community and Economic Development Director is continuing to work with MDOT project team members and contractors for the project to reconstruct E. Pickard Rd. (M-20) to coordinate re-installation of streetlights, park benches, etc. removed by the contractor. (1.1, 1.2, 1.3, 1.6)
- The Community and Economic Development Director will serve as Chair for the November meeting of the Airport Joint Operations and Management Board.
- The Community and Economic Development Director will continue business retention contacts.
- The Community and Economic Development Director plans to follow up with Jim Holton at Mountain Town Brewery and Summit Smokehouse regarding some business-related concerns.
- The Community and Economic Development Director will complete and distribute a request for qualifications from sign contractors with the capability to design and install a new gateway sign for the East DDA District to be located at the corner of M-20 and S. Summerton Rd. in cooperation with Mid-Michigan College and Consumers Energy, and to design and install new Enterprise Industrial Park signage at the corner of M-20 and Enterprise Dr.
- The Community and Economic Development Director attended the annual conference of the Michigan Downtowns Association, which was held in Birmingham, MI, where he was elected to fill the remaining term for an open seat on the association's Board of Directors.
- The Community and Economic Development Director plans to attend the Fall meeting of the Michigan Economic Developers Association in Lansing, MI on 11/17/2023, which will include updates on site selector priorities for new projects and on anticipated economic trends for 2024.

Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- The regular November 21, 2023 EDA Board meeting is anticipated to include:
 - Review of bids and selection of the successful bidder for sidewalk snowplowing in the East and West DDA Districts for 2024 - 2026.
 - Approval of the 2024 Art Reach of Mid Michigan Festival of Banners proposal.

- Ceremony for the grant award to Mid-Valley Structures for their completed sign replacement project in the East DDA District.

Building Services (1.1, 1.3, 1.4, 1.6):

- Inspections and follow up as needed for the new Isabella County Jail project. (1.1, 1.3)
- Follow up phone calls.
- Continue to do site visits, inspections, issue permits, plan reviews.
- Continued work on expired permit list.

Rental Inspection Services (1.1, 1.2, 1.3, 1.4):

- The Rental Inspector will:
 - Investigate and follow up on any rental complaints as needed.
 - Continue to collaborate with the Fire Department on hotel rental inspections.
 - Schedule complexes, hotels, as well as duplex and single-family units for inspections.
 - Conduct follow-up inspections to verify correction of violations.
 - Work on expired certificate scheduling as needed.
 - Arrange for site visits as needed for compliance or informational.

Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5, 1.6):

- Director and Zoning Administrator review of site plan, special use, and other development applications and preparation of staff reports for the Planning Commission regarding Zoning Ordinance compliance.
- Zoning Administrator review of site plan applications eligible for administrative approval.
- Zoning Administrator review of building permits for zoning compliance.
- Zoning compliance letters
- Sign permits
- Continued use of MissDig notifications to catch activity in the Township needing zoning approval.
- Enforcement follow ups
- Yard sales
- Tall weeds and grass enforcement
- The Community and Economic Development Director and Zoning Administrator regularly hold informal pre-application development meetings with developers and business/property owners.

Ordinance Enforcement Activities (1.1, 1.3):

- The Community and Economic Development Director will follow up again with representatives from the Saginaw Chippewa Indian Tribe about building code and local ordinance enforcement questions related to the property at 5805 and 5935 E. Pickard Rd. recently acquired by the Tribe to become the new home of the Tribal College.
- Northeast corner of S. Lincoln Rd. and E. Broomfield Rd. – unlawful contractor’s storage yard and unlawful grading/fill activities without a grading permit. The owner claimed a “grandfathered” status as a legal nonconforming use. This matter is under review by the Township Attorney.
- 4941 E Valley Rd. – Dilapidated and potentially unsafe dwelling. The owner confirmed that he wants the roof completed but does not have the funds. The Building Official spoke with a contractor who is looking into options to help the owner resolve the violations, including follow up with a supplier that is working on a possible donation of materials.
- Ordinance enforcement follow up on current matters and investigation of any new complaints.

Planning Commission Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- The regular November 21, 2023 Planning Commission meeting is anticipated to include:

- PFINALSPR23-02 Final site plan application for Hal Banks proposed building addition for indoor golf, archery, office space and related storage located at 2160 E. Remus Road.
- PRESPR23-04 Preliminary site plan application for a proposed 6,000 square-foot building addition and associated site improvements for the Wal-Mart retail store located at 4730 Encore Blvd.
- PSPR22-04 Request for approval of a 365 calendar day extension to October 15, 2024 for the approved PSPR22-04 final site plan for the new Krist Oil Filling station at 4972 E. Pickard Road (PID 14-014-20-041-01).
- Continuation of a process to update the Master Plan.

Zoning Board of Appeals Activities (1.1):

- During their regular November 1, 2023 meeting, the Zoning Board of Appeals:
 - Approved their annual report of ZBA activities to the Planning Commission
 - Adopted their regular meeting calendar for 2024.
 - Reviewed available training options.

Sidewalks, Pathways, and Parks & Recreation Plan/Program Activities (1.1, 1.2, 1.3, 1.4):

- No Sidewalks and Pathways Prioritization Committee activity anticipated in November.
- The Community and Economic Development Director is working with the Township’s engineering consultant at Gourdie-Fraser to begin preliminary engineering work on new sidewalk projects along the north side of Pickard Rd. east from S. Lincoln Rd. to connect to the existing sidewalk near Ashland Dr., and along Bud St. north from E. Pickard Rd. to connect to Jameson Park.

Other Activities:

- The Community and Economic Development Director plans to meet again with the Mt. Pleasant City Planner, Manuela Powidayko, to discuss topics of mutual interest and opportunities for collaboration on land use planning and development issues. (1.1, 1.2).
- The Rental Inspector is using his photography skills to capture scenes from around the Township for the purpose of updating the Township website’s photo gallery.

Future Board of Trustee Meeting Agenda Items

- Consideration for adoption of a resolution of support for an application by D Clare Services (north side of River Rd. west of US-127) to correct the Federal Emergency Management Agency (FEMA) flood hazard maps to match the accurate 100-year floodplain boundary on the subject lot.

Significant Items of Interest Longer Term

- Economic Development – The Community and Economic Development Director will expand information on the Township’s website related to development approval processes and pre-application meeting options to further assist the development community.
- Economic Development - The Community and Economic Development Director plans to follow up with Middle Michigan Development Corporation representatives for further discussion and evaluation of a potential opportunity to apply for future grant funding from the U.S. Economic Development Administration to help support implementation of expanded industrial/business park development along the US-127 corridor. Depending on eligibility, this grant opportunity would require collaboration with the City of Mt. Pleasant and the Saginaw Chippewa Indian Tribe.

- Zoning Administration - The Community and Economic Development Director and Zoning Administrator will review the current Zoning Board of Appeals bylaws to coordinate with recent updates to relevant sections of Zoning Ordinance 20-06. (1.1)
- Zoning Administration - The Community and Economic Development Director and Zoning Administrator plan to propose some additional updates to the sign regulations of Zoning Ordinance 20-06 to improve consistency in application and to minimize regulatory conflicts. (1.1)
- Economic Development – The Community and Economic Development Director will prepare an updated summary document for the website outlining economic development programs and incentives available from the State of Michigan and our DDA Districts for various types of projects.
- Other Activities - Consideration of a new 2023 - 2027 Parks and Recreation Master Plan for adoption, following a recommendation from the Planning Commission and a public hearing. (1.1, 1.2, 1.3, 1.4, 1.5)
- Building Services - The Community and Economic Development Director is working with the county Community Development Dept. Director to develop a draft reciprocal intergovernmental agreement proposal for Isabella County to provide for residential and commercial building inspection services during vacations and other periods when the Township’s Building Official is temporarily absent, which would be subject to approval by the Township Board of Trustees and the county Board of Commissioners. (1.1, 1.2, 1.3, 1.6)
- Economic Development - Possible future airport-related Zoning Ordinance changes to create a separate zoning district for the Mt. Pleasant Airport to expand options for airport-related business activities beyond the scope allowed under the current the AG (Agricultural) district. (1.1, 1.6)
- Building Services – The Building Official continues to work in close coordination with the County’s plumbing, mechanical, and electrical inspectors on building projects to minimize delays and to ensure that construction meets the applicable health and safety standards. (1.1, 1.3, 1.6)
- Building Services – Moving old, scanned prints to proper location within BS&A. (1.1, 1.3)
- Rental Housing – Community and Economic Development staff evaluated options for hosting educational opportunities for local landlords on inspections, safety, applicable codes, and other landlord/tenant topics, but determined after input from the rental community that creation of a Township flyer with graphical examples of code requirements and common violations (such as blocked egresses and disabled smoke detectors or carbon monoxide detectors) would be the most effective option. (1.2, 1.3, 1.6)
- PILOT Housing Projects - The Community and Economic Development Director will continue to oversee the administration of the Tax Exemption Ordinance and adopted PILOT resolutions in coordination with the Finance Director and Twp. Assessor to verify continuing compliance by the sponsors of the eligible housing projects. (1.1, 1.6)
- Other Activities - Expanded use of BS&A Building Module capabilities for hosting of digitized plans and permit documents, and for building services and zoning administration functions. (1.1, 1.3)
- Other Activities - Repeal of the outdated and unenforceable Ordinance 2011-4 for marijuana dispensaries and growing operations (1.1)
- Other Activities – Consideration of new International Fire Code Ordinance for adoption, which would replace Ordinance No. 2014-05 and would reference the updated fire code to be enforced by the Mt. Pleasant Fire Department in both the City and the Township. (1.1, 1.3)
- Other Activities – Consideration of an updated Private Road Ordinance for adoption. (1.1, 1.3)
- Other Activities – Consider updates to the Township’s ordinance on open burning. (1.1, 1.3, 1.4)
- Other Activities - Consider updates to the Noxious Weeds Ordinance No. 1998-5 to improve consistency in applicable regulations of tall grass and weeds. (1.1, 1.3, 1.5)
- Other Activities - Consider updates to the Subdivision of Land Ordinance No. 1994-6 for consistency with updates to the state’s subdivision plat approval requirements. (1.1, 1.4, 1.6)

- Other Activities - Consider updates to the Land Division Ordinance No. 1997-8 to clarify application requirements and the division, combination, and boundary adjustment approval process. (1.1, 1.6)
- Other Activities – Consider ways to maximize the usefulness, readability, and functionality of the Township website’s Announcements, Public Notices, and News features. (1.1, 1.2)
- Other Activities – The Community and Economic Development Director will continue to work with the County Community Development Director and the City Planner to create a unified “regional planning/zoning” theme on the County’s FetchGIS website where County, City, and Township zoning district and future land use maps could be displayed together with other relevant data.



Charter Township of Union
APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan Preliminary Site Plan Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project: HAL BANKS PROPOSED BUILDING ADDITION
Common Description of Property & Address (if issued): 2160 EAST REMUS ROAD, MT. PLEASANT MI
Applicant's Name(s): HAL BANKS
Phone/Fax numbers: 989-506-1472 Email: hbanksboilfield@gmail.com
Address: 4836 OLSON COURT City: MT. PLEASANT Zip: 48858

Legal Description: Attached Included on Site Plan Tax Parcel ID Number(s): 14-021-10-007-01
Existing Zoning: B-5 Land Acreage: +/- 0.96 Existing Use(s): FORMERLY GUN SMITH SHOP
ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)

Firm(s) or Individuals(s) who prepared site plan(s): 1. Name: Central MI Surveying & Dev. Co. Inc. Phone: 989-77-0756 Email: tbebee@cms-d.com
2. Address: 2257 EAST BROOMFIELD ROAD City: MT. PLEASANT State: MI Zip: 48858
Contact Person: TIMOTHY BEBEE Phone: 9895061001
Legal Owner(s) of Property: 1. Name: HAL BANKS Phone: Address: 4836 OLSON COURT City: MT. PLEASANT State: MI Zip: 48858
Signature: Interest in Property: owner
2. Name: Address: City: State: Zip: Signature: Interest in Property:

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Signature of Applicant

Date: 10-2-23

Office Use Only

Application Received By: Fee Paid: \$

Date Received: Escrow Deposit Paid: \$

HAL BANKS

FINAL SITE PLAN REVIEW LETTER

Project Description

The project consists of a proposed 50' x 80' addition to an existing 1,228 sq. ft. building. The building will house a indoor virtual golf and an archery range business with an storage area and office area.

Standards for Final Site Plan Approval (Section 14.2.S)

- 1.) The applicant is legally authorized to apply for site plan approval, and all required information has been provided.
The applicant is the legal owner of the property.

- 2.) The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.
Yes, the proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.

- 3.) The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.
Yes, the final site plan is consistent with the policies, planning documents and the approved preliminary site plan.

- 4.) The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.
The proposed development is consistent with the zoned uses for the property which is B-5, so it is harmonious with and not harmful, injurious, or objectionable to the environment or land uses in the surrounding area which is also B-5 properties.

- 5.) The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting or filling.
The proposed development respects natural topography. No floodways and floodplains exist on this site.

- 6.) Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such a fashion as to make development feasible.
The development will disturb only what is necessary to create the proper foundation for the overall site.

- 7.) The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.
The proposed development is designed to accommodate traffic flow and parking in accordance with the Township ordinances.
- 8.) The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned developments in the vicinity.
Yes, the proposed development is adequately coordinated with improvements serving the area. The area is already developed for B-5 businesses.
- 9.) Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.
The proposed development is surrounded by similarly zoned properties and its nature will be harmonious with the contiguous lands and the surrounding area. The project is improving and adding to an already developed site.
- 10.) Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.
The proposed development will be completed as one phase.
- 11.) The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.
The plans have been submitted to all agencies for meeting the Township standards.
- 12.) The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.
The drainage plan conforms to the stormwater management standards and will not cause undue runoff on to neighboring properties or overload area watercourses.
- 13.) Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.
The proposed landscaping plan are adequate and conform to the standards.
- 14.) Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.
Exterior lighting conforms to the Ordinance and standards. Wall Packs are the only exterior lighting being used.

15.)The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.

The vehicular pattern will cause no conflicts with the flow of traffic.

16.)Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.

The grading plan will not adversely affect any surrounding properties.

17.)Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.

A soil erosion plan addresses soil erosion during and construction and after the project is finished.

18.)The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.

The plan meets the applicable standards and has been submitted to all agencies.

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: TBD - INDOOR ARCHERY AND VIRTUAL GOLF BUSINESS

Name of business owner(s): HAL BANKS


Street and mailing address: 2160 EAST REMUS ROAD, MT. PLEASANT MI

Telephone: _____

Fax: _____

Email: _____

I affirm that the information submitted is accurate.

Owner(s) signature and date: 

Information compiled by: SHANEE THAYER, OFFICE MANAGER
CENTRAL MI SURVEYING & DEV. CO. INC.

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD, Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide, Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters		
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Petroleum & Mining , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact Union Township and [EGLE Permits & Bonding](#), OGMD, 517-284-6841

HAL BANKS

PROPOSED BUILDING ADDITION

2160 EAST REMUS ROAD, MT. PLEASANT, MICHIGAN

CMS & D
SURVEYING / ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

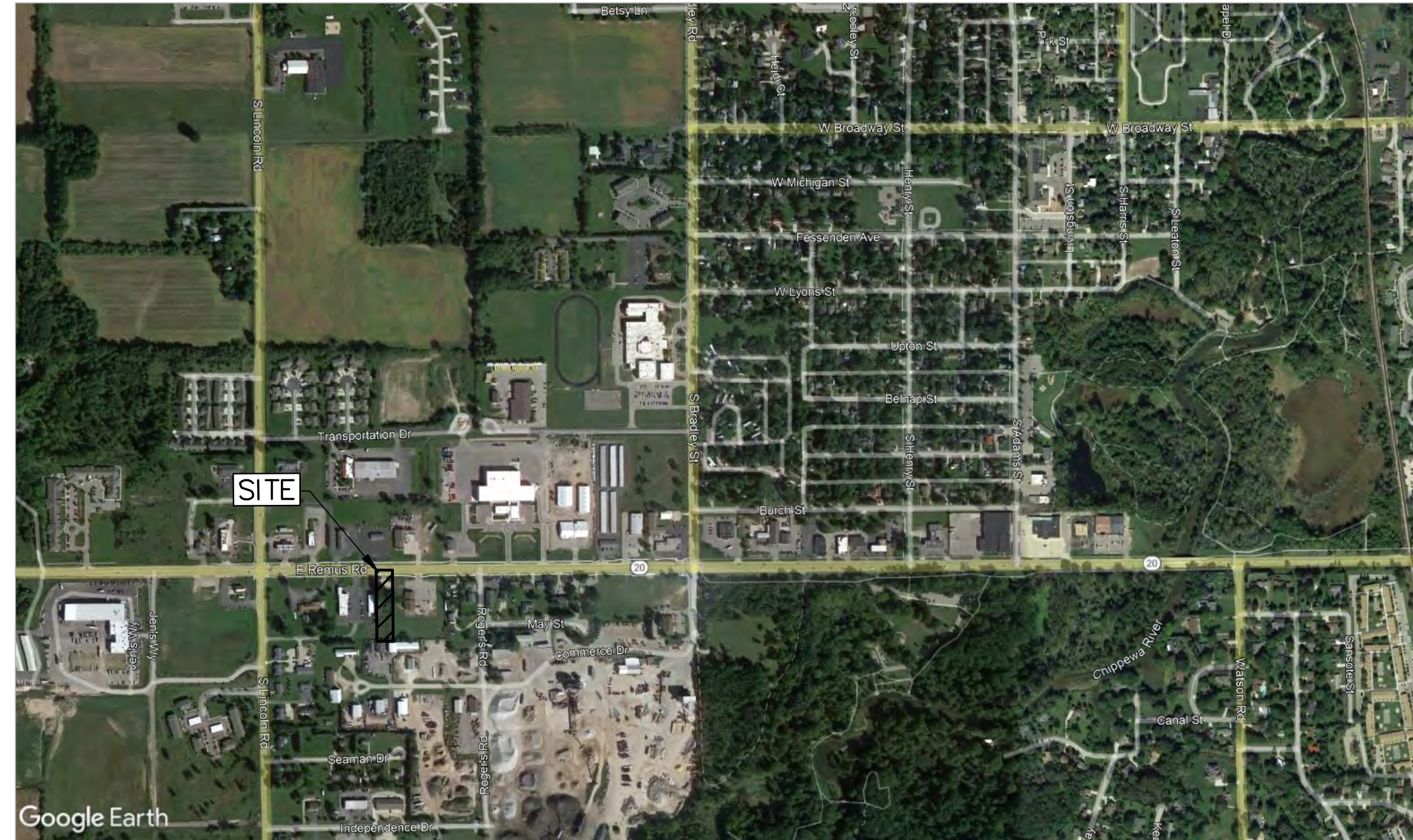


SECTION 12.5 NONCONFORMING SITES:

- ITEM C. THE PROPOSED SITE IMPROVEMENTS SHALL INCLUDE AT LEAST THREE (3) OF THE FOLLOWING, AS ACCEPTED BY THE PLANNING COMMISSION:
1. PRESERVATION OF NATURAL RESOURCES OF HISTORICAL SITE FEATURES.
 2. PEDESTRIAN ACCESS IMPROVEMENTS.
 3. VEHICULAR ACCESS AND CIRCULATION IMPROVEMENTS.
 4. BUILDING DESIGN OR EXTERIOR FACADE IMPROVEMENTS.
 5. OFF-STREET PARKING OR LOADING IMPROVEMENTS.
 6. LANDSCAPING IMPROVEMENTS.
 7. SCREENING AND BUFFERING IMPROVEMENTS.
 8. EXTERIOR LIGHTING IMPROVEMENTS.
 9. DRAINAGE AND STORM WATER MANAGEMENT IMPROVEMENTS.
 10. CLEAN UP OR RESTORATION OF BLIGHTED SITE, REMOVAL OF CONTAMINATED SOIL, OR SIMILAR ENVIRONMENTAL IMPROVEMENTS.

ITEMS OF IMPROVEMENT FOR CONSIDERATION:

2. THE CURRENT PROJECT HAS EXISTING PUBLIC SIDEWALKS WHICH HAVE BEEN PREVIOUSLY INSTALLED. WE WILL BE INSTALLING A CONNECTION BETWEEN THE PUBLIC SIDEWALKS AND THE EXISTING PUBLIC ACCESS OF THE EXISTING BUILDING.
3. CURRENTLY THE SITE HAS A GRAVEL PARKING LOT THAT DOES NOT HAVE MARKINGS FOR PARKING SPACES AND THUS DOES NOT HAVE ESTABLISHED DRIVE ISLES. THE PROPOSED PLAN WILL PROVIDE THE REQUIRED PARKING FOR THE PROPOSED MULTIPLE USES AT THE REQUIRED PARKING STALL SIZE AND PROVIDE ACCESS ISLES WITH A TURN-AROUND THAT ALLOWS FOR TWO-WAY TRAFFIC ON A HARD ASPHALT SURFACE THAT MEETS THE TOWNSHIP REQUIREMENTS.
4. THE EXISTING BUILDING IS HAVING UPGRADES AND IMPROVEMENTS ALONG WITH A NEW BUILDING BEING PROPOSED. PHOTOS OF THE PROPOSED TYPE OF BUILDING HAVE BEEN ADDED TO THIS SITE PLAN SET.
5. THE CURRENT SITE HAS AN UNMARKED GRAVEL PARKING LOT AT THE FRONT OF THE EXISTING BUILDING. THE PROPOSED OFF-STREET PARKING COUNT IS IN EXCESS OF THE MINIMUM REQUIREMENTS OF THE ORDINANCE. THE EXISTING SITE HAS NO LOADING/UNLOADING AREAS. LOADING AND UNLOADING AREAS HAVE BEEN ADDED ALONG THE EAST SIDE OF THE PROPOSED BUILDING.
8. EXTERIOR LIGHTING IS BEING BROUGHT INTO COMPLIANCE WITH THE TOWNSHIP CODE.
9. THE CURRENT SITE HAS NO STORM WATER MANAGEMENT. THE PROPOSED SITE MEETS THE ORDINANCE FOR STORM WATER MANAGEMENT.



LOCATION MAP
NOT TO SCALE

ZONED B-5 HIGHWAY BUSINESS DISTRICT	
MINIMUM LOT AREA	16,000 SQ. FT.
MINIMUM LOT WIDTH	100 FT
MAXIMUM STRUCTURE HEIGHT	45 FT
MINIMUM FRONT YARD SETBACK	20 FT
MINIMUM SIDE YARD SETBACK	10 FT (J)
MINIMUM REAR YARD SETBACK	20 FT (J)
MAXIMUM LOT COVERAGE	50%

(J) A FORTY (40) FOOT SIDE AND REAR YARD SETBACK SHALL BE PROVIDED WHEN ABUTTING A RESIDENTIAL DISTRICT.

MISS DIG:
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND
SYMBOLS

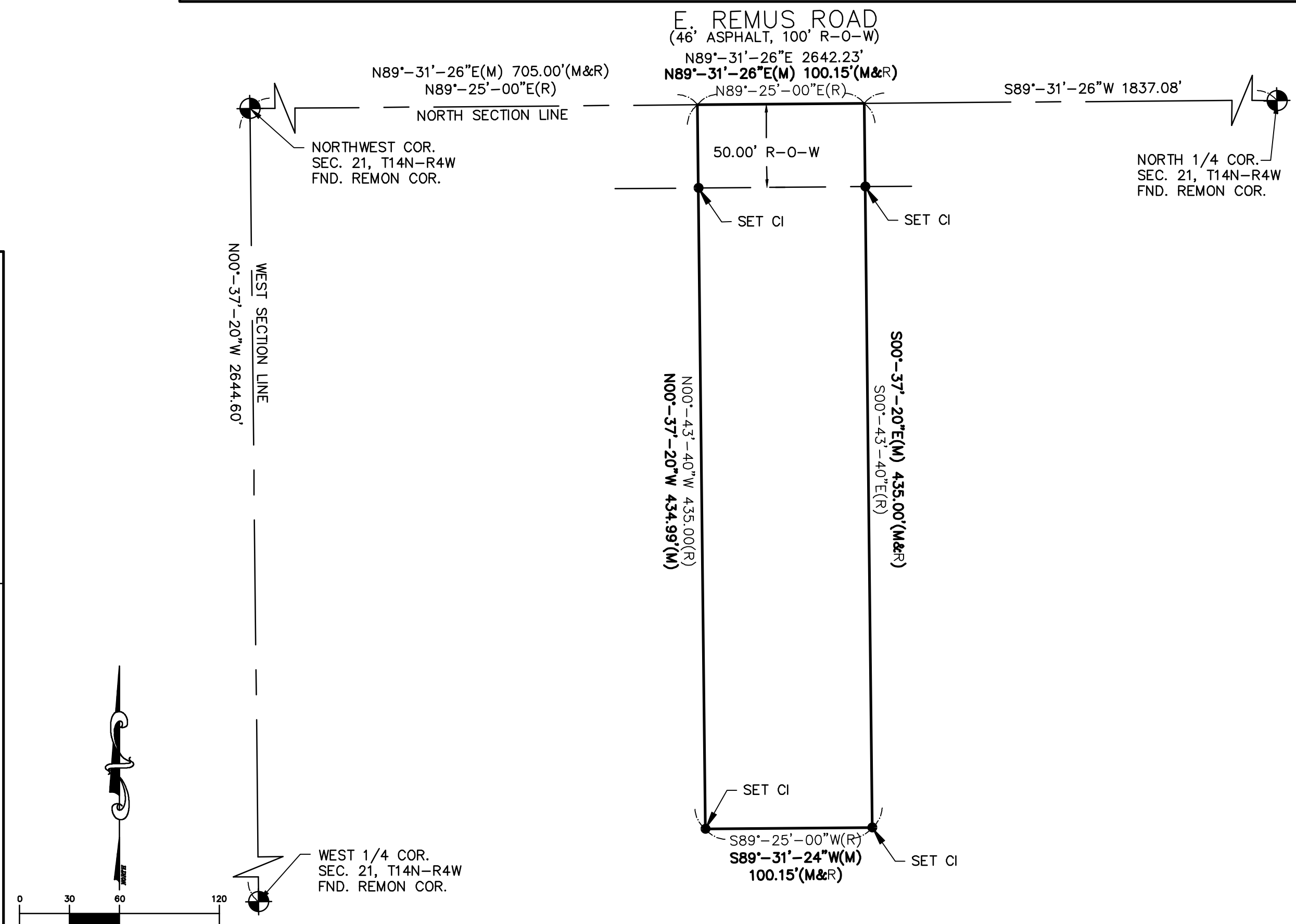
LINETYPES

	BURIED ELECTRICAL CABLE
	BURIED TELEPHONE CABLE
	CENTERLINE OF DITCH
	FORCE MAIN
	GAS MAIN
	ROAD CENTERLINE
	SANITARY SEWER
	STORM SEWER
	TOE OF SLOPE
	TOP OF BANK
	UTILITIES - OVERHEAD
	UTILITIES - UNDERGROUND
	WATER MAIN

HATCH PATTERNS

	ASPHALT - EXISTING
	ASPHALT - PROPOSED
	CONCRETE
	GRAVEL
	LANDSCAPING
	RIP-RAP

LEGAL DESCRIPTION PROVIDED: (WARRANTY DEED, LIBER 1898, PAGE 4502)
PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 21, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS BEGINNING N89°-25'-00"E, ALONG THE NORTH SECTION LINE, 705.00 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 21, THENCE CONTINUING N89°-25'-00"E, ALONG SAID NORTH SECTION LINE, 100.15 FEET, THENCE S00°-43'-40"E, 435.00 FEET, THENCE S89°-25'-00"W, 100.15 FEET, THENCE N00°-43'-40"W, 435.00 FEET BACK TO THE PLACE OF BEGINNING.



1 Inch = 60 ft.

BOUNDARY SURVEY

SHEET INDEX

1	COVER SHEET
2	EXISTING TOPOGRAPHY
3	HORIZONTAL LAYOUT
4	GRADING & SOIL EROSION PLAN
5	LIGHTING & LANDSCAPING PLAN
6	STORM WATER CALCULATIONS & DETAILS
7	DETAILS
8	BN-LIGHTING PLAN SHEET 1 (INFORMATION PROVIDED BY OTHERS)
9	LIGHTING PLAN SHEET 2 (INFORMATION PROVIDED BY OTHERS)
10	BUILDING ELEVATIONS SHEET 1 (BY OTHERS)
11	BUILDING ELEVATIONS SHEET 2 (BY OTHERS)
12	BUILDING ELEVATIONS SHEET 3 (BY OTHERS)

BEARING BASIS:
PER GEODETIC OBSERVATION MICHIGAN STATE PLAN SOUTH, THE BEARING OF THE NORTH SECTION LINE BETWEEN THE NORTHWEST CORNER AND THE NORTH 1/4 CORNER WAS DETERMINED TO BE S89°-31'-26"E.

BENCHMARK:
TOP CORNER LANDSCAPE/RETAINING WALL, N:764455.17 E:13007301.89 Z: 784.79
NGS POINT - DL5150 - N:764486.57 E: 13006598.45 Z: 786.62

SITE:	2160 E. REMUS ROAD MT. PLEASANT, MI 48858
OWNER/CLIENT:	HAL & ERIN BANKS 4836 OLSON COURT MT. PLEASANT, MI 48858 PHONE: (989) 772-9823
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 345 PINE AVENUE ALMA, MI 48801 PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS
915 E. BROOMFIELD STREET
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDDT
kimberly.studdt@cmsenergy.com

FRONTIER
345 PINE AVENUE
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@ftr.com

CHARTER TOWNSHIP OF UNION
PUBLIC WATER/PUBLIC SEWER
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION
PLANNING & ZONING
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 N. MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 317-4072
ROBERT WILLOUGHBY
drobin@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION
2261 E. REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
P.Gaffney@isabellacounty.com

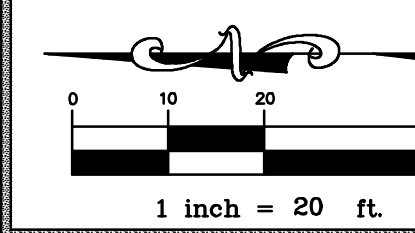
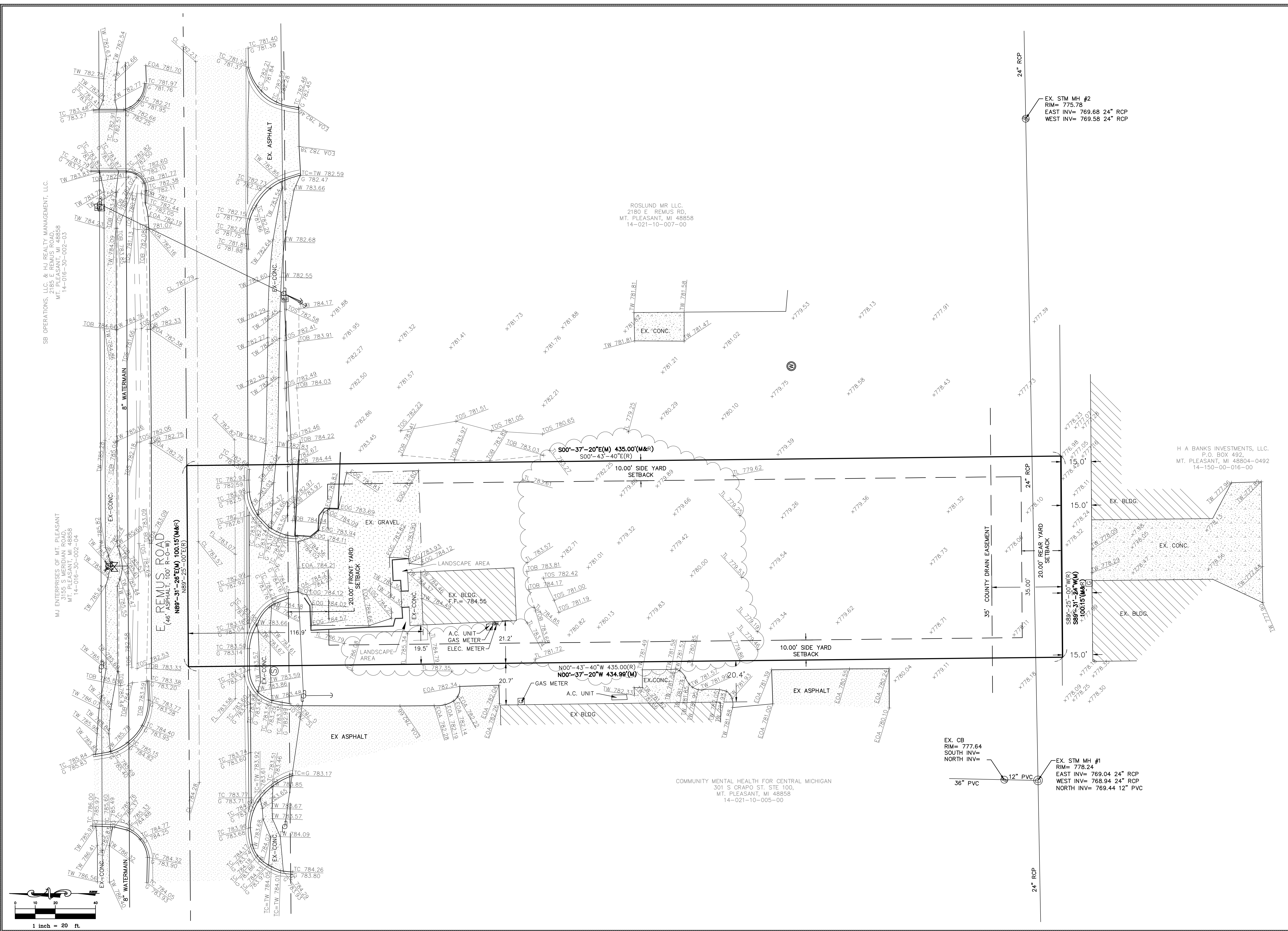
MT. PLEASANT FIRE DEPARTMENT
804 E. HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
LT. BRAD DOEPKER
bdoepker@mt-pleasant.org

COVER SHEET
HAL & ERIN BANKS
PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 21, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

REVISIONS PER UNION TOWNSHIP PLANNING 9-11-23
SUBMITTAL TO UNION TOWNSHIP PLANNING 6-26-23
SUBMITTAL TO UNION TOWNSHIP PLANNING 8-29-23
SUBMITTAL TO UNION TOWNSHIP PLANNING 9-21-23
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SUBMITTAL TO UNION TOWNSHIP PLANNING 10-13-23
VERBAL COMMENTS BY ZA 10-9-23

JOB NUMBER: 2301-011
DRAWN BY: BTM
DESIGNED BY: N/A
CHECKED BY: TELB

SCALE: N/A
SHEET NUMBER: 1 OF 12



SB OPERATIONS, LLC. & HJ REALTY MANAGEMENT, LLC.
2185 E REMUS ROAD,
MT. PLEASANT, MI 48858
14-016-30-002-03

MJ ENTERPRISES OF MT. PLEASANT
3155 S MERIDIAN ROAD,
MT. PLEASANT, MI 48858
14-016-30-002-04

ROSLUND MR LLC,
2180 E. REMUS RD.,
MT. PLEASANT, MI 48858
14-021-10-007-00

COMMUNITY MENTAL HEALTH FOR CENTRAL MICHIGAN
301 S CRAPO ST. SITE 100,
MT. PLEASANT, MI 48858
14-021-10-005-00

H A BANKS INVESTMENTS, LLC.
P.O. BOX 492,
MT. PLEASANT, MI 48804-0492
14-150-00-016-00

EX. STM MH #2
RIM= 775.78
EAST INV= 769.68 24" RCP
WEST INV= 769.58 24" RCP

EX. CB
RIM= 777.64
SOUTH INV=
NORTH INV=

EX. STM MH #1
RIM= 778.24
EAST INV= 769.04 24" RCP
WEST INV= 768.94 24" RCP
NORTH INV= 769.44 12" PVC

CMS & D
SURVEYING / ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

EXISTING TOPOGRAPHY
HAL & ERIN BANKS
PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4
OF SECTION 21, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

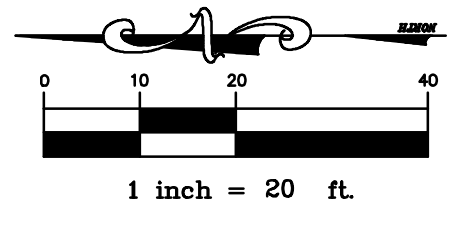
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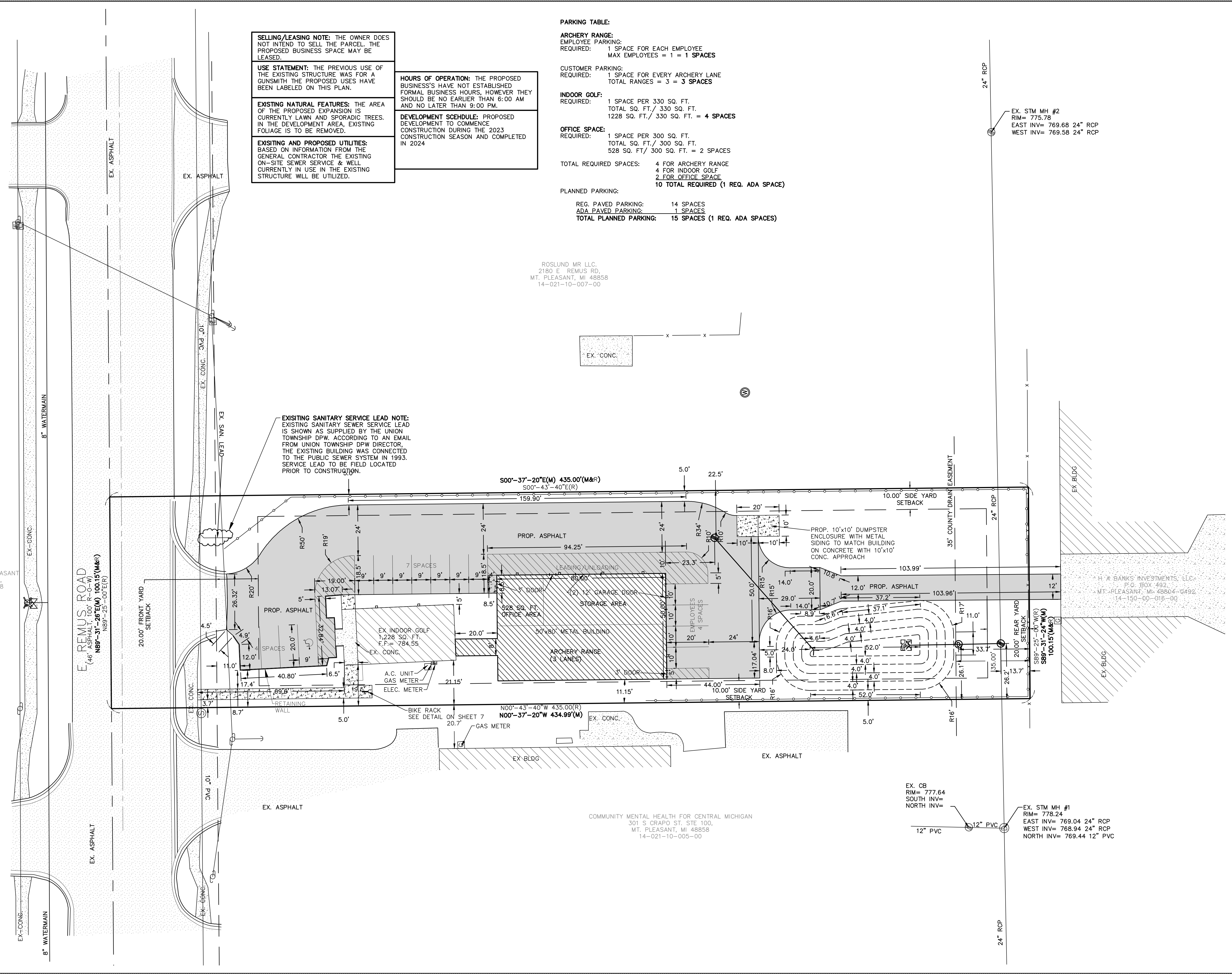
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SUBMITTAL TO UNION TOWNSHIP PLANNING 10-13-23

SCALE	1" = 20'
JOB NUMBER:	2301-011
DRAWN BY:	BTM
DESIGNED BY:	N/A
CHECKED BY:	TELB
SHEET NUMBER	2 OF 12



MJ ENTERPRISES OF MT. PLEASANT
 3155 S MERIDIAN ROAD,
 MT. PLEASANT, MI 48858
 14-016-30-002-04

SB OPERATIONS, LLC. & HJ REALTY MANAGEMENT, LLC.
 2185 E REMUS ROAD,
 MT. PLEASANT, MI 48858
 14-016-30-002-03



SELLING/LEASING NOTE: THE OWNER DOES NOT INTEND TO SELL THE PARCEL. THE PROPOSED BUSINESS SPACE MAY BE LEASED.

USE STATEMENT: THE PREVIOUS USE OF THE EXISTING STRUCTURE WAS FOR A GUNSMITH THE PROPOSED USES HAVE BEEN LABELED ON THIS PLAN.

EXISTING NATURAL FEATURES: THE AREA OF THE PROPOSED EXPANSION IS CURRENTLY LAWN AND SPORADIC TREES. IN THE DEVELOPMENT AREA, EXISTING FOLIAGE IS TO BE REMOVED.

EXISTING AND PROPOSED UTILITIES: BASED ON INFORMATION FROM THE GENERAL CONTRACTOR THE EXISTING ON-SITE SEWER SERVICE & WELL CURRENTLY IN USE IN THE EXISTING STRUCTURE WILL BE UTILIZED.

HOURS OF OPERATION: THE PROPOSED BUSINESS'S HAVE NOT ESTABLISHED FORMAL BUSINESS HOURS, HOWEVER THEY SHOULD BE NO EARLIER THAN 6:00 AM AND NO LATER THAN 9:00 PM.

DEVELOPMENT SCHEDULE: PROPOSED DEVELOPMENT TO COMMENCE CONSTRUCTION DURING THE 2023 CONSTRUCTION SEASON AND COMPLETED IN 2024

PARKING TABLE:

ARCHERY RANGE:
 EMPLOYEE PARKING:
 REQUIRED: 1 SPACE FOR EACH EMPLOYEE
 MAX EMPLOYEES = 1 = 1 SPACES

CUSTOMER PARKING:
 REQUIRED: 1 SPACE FOR EVERY ARCHERY LANE
 TOTAL RANGES = 3 = 3 SPACES

INDOOR GOLF:
 REQUIRED: 1 SPACE PER 330 SQ. FT.
 TOTAL SQ. FT./ 330 SQ. FT. = 4 SPACES
 1228 SQ. FT./ 330 SQ. FT. = 4 SPACES

OFFICE SPACE:
 REQUIRED: 1 SPACE PER 300 SQ. FT.
 TOTAL SQ. FT./ 300 SQ. FT.
 528 SQ. FT./ 300 SQ. FT. = 2 SPACES

TOTAL REQUIRED SPACES:
 4 FOR ARCHERY RANGE
 4 FOR INDOOR GOLF
 2 FOR OFFICE SPACE
 10 TOTAL REQUIRED (1 REQ. ADA SPACE)

PLANNED PARKING:

REG. PAVED PARKING:	14 SPACES
ADA PAVED PARKING:	1 SPACES
TOTAL PLANNED PARKING:	15 SPACES (1 REQ. ADA SPACES)

ROSLUND MR LLC.
 2180 E REMUS RD.
 MT. PLEASANT, MI 48858
 14-021-10-007-00

EXISTING SANITARY SERVICE LEAD NOTE:
 EXISTING SANITARY SEWER SERVICE LEAD IS SHOWN AS SUPPLIED BY THE UNION TOWNSHIP DPW. ACCORDING TO AN EMAIL FROM UNION TOWNSHIP DPW DIRECTOR, THE EXISTING BUILDING WAS CONNECTED TO THE PUBLIC SEWER SYSTEM IN 1993. SERVICE LEAD TO BE FIELD LOCATED PRIOR TO CONSTRUCTION.

PROP. 10'x10' DUMPSTER ENCLOSURE WITH METAL SIDING TO MATCH BUILDING ON CONCRETE WITH 10'x10' CONC. APPROACH

H.A. BANKS INVESTMENTS, LLC.
 P.O. BOX 492,
 MT. PLEASANT, MI 48804-0492
 14-150-00-016-00

COMMUNITY MENTAL HEALTH FOR CENTRAL MICHIGAN
 301 S CRAPO ST. STE 100,
 MT. PLEASANT, MI 48858
 14-021-10-005-00

EX. CB
 RIM= 777.64
 SOUTH INV=
 NORTH INV=

EX. STM MH #1
 RIM= 778.24
 EAST INV= 769.04 24" RCP
 WEST INV= 768.94 24" RCP
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 2257 EAST BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

HORIZONTAL LAYOUT
 HAL & ERIN BANKS
 PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4
 OF SECTION 21, T14N-R04W,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

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JOB NUMBER: 2301-011
SCALE: 1" = 20'
DRAWN BY: BTM
DESIGNED BY: TELB
CHECKED BY: TELB
SHEET NUMBER: 3 OF 12

MICHIGAN UNIFIED KEYING SYSTEM

15P SOIL EROSION & SEDIMENTATION CONTROL MEASURES
P = PERMANENT T = TEMPORARY

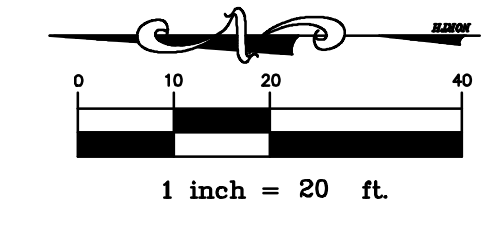
KEY	DETAIL	CHARACTERISTICS
2	Selective Grading & Shaping	Water can be diverted to minimize erosion Flatter slopes ease erosion problems
7	Hydro-seeding	Effective on large areas Match seeding agent used to provide immediate protection until grass is rooted Should include prepared topsoil bed
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized outfall location Use catch basins to collect sediment
36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff May use filter cloth over inlet
55	Detachable Silt Fence	Controls and contains sediment from sheet flow conditions. Fabric must be "loos" into the soil 6" or more to prevent underflow. Must be constructed of adequate strength filter fabric and stakes.

EXISTING SANITARY SERVICE LEAD NOTE:
EXISTING SANITARY SEWER SERVICE LEAD IS SHOWN AS SUPPLIED BY THE UNION TOWNSHIP DPW. ACCORDING TO AN EMAIL FROM UNION TOWNSHIP DPW DIRECTOR, THE EXISTING BUILDING WAS CONNECTED TO THE PUBLIC SEWER SYSTEM IN 1993. SERVICE LEAD TO BE FIELD LOCATED PRIOR TO CONSTRUCTION.

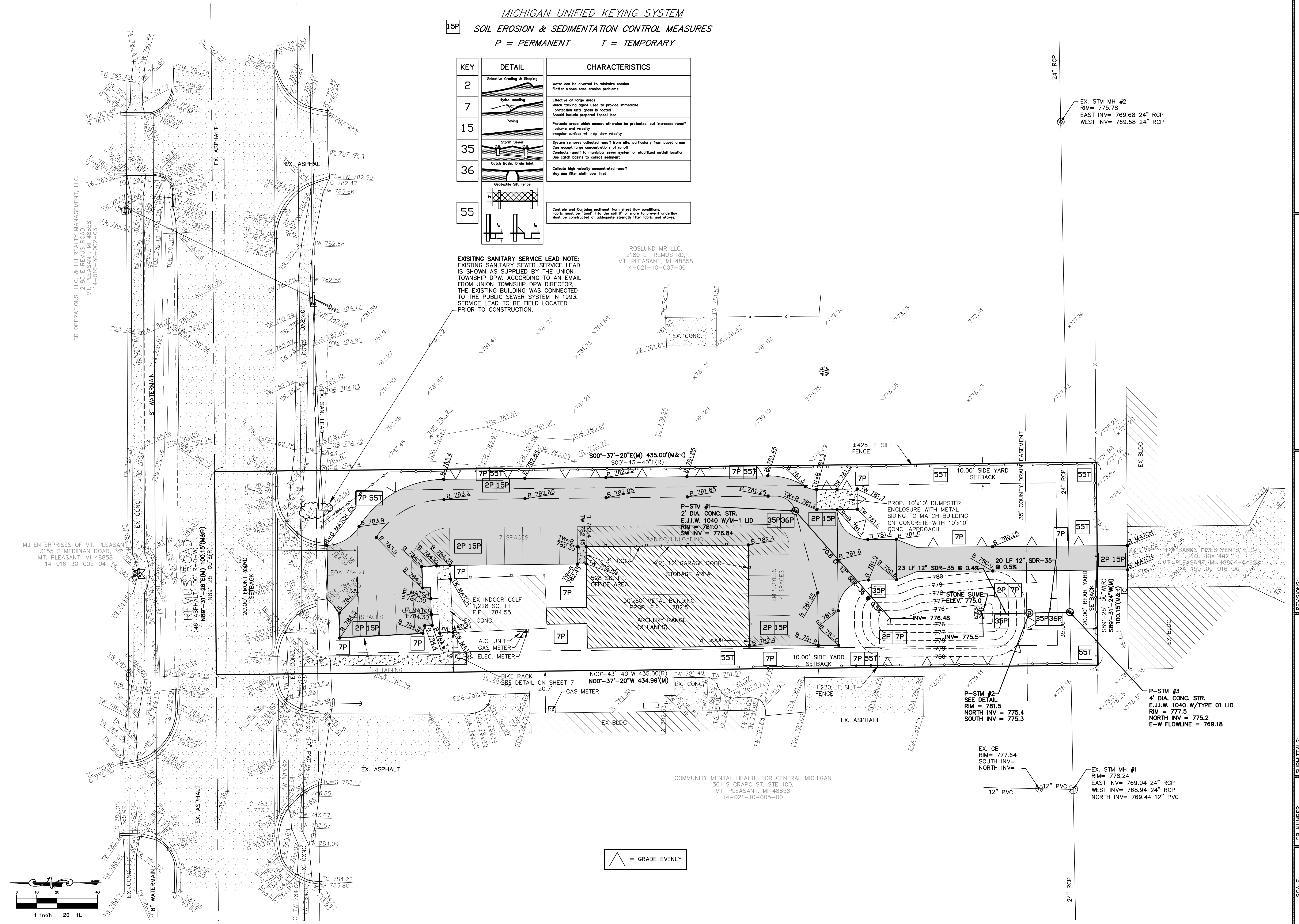
ROSLUND MR LLC.
2180 E REMUS RD.
MT. PLEASANT, MI 48858
14-021-10-007-00

MJ ENTERPRISES OF MT. PLEASANT
3155 S MERIDIAN ROAD,
MT. PLEASANT, MI 48858
14-016-30-002-04

SB OPERATIONS, LLC. & HJ REALTY MANAGEMENT, LLC.
2185 E REMUS ROAD,
MT. PLEASANT, MI 48858
14-016-30-002-03



= GRADE EVENLY



EX. STM MH #2
RIM= 775.78
EAST INV= 769.68 24" RCP
WEST INV= 769.58 24" RCP

P-STM #2
SEE DETAIL
RIM = 781.5
NORTH INV = 775.4
SOUTH INV = 775.3

P-STM #3
4' DIA. CONC. STR.
E.I.W. 1040 W/TYPE 01 LID
RIM = 777.5
NORTH INV = 775.2
E-W FLOWLINE = 769.18

EX. CB
RIM= 777.64
SOUTH INV=
NORTH INV=

EX. STM MH #1
RIM= 778.24
EAST INV= 769.04 24" RCP
WEST INV= 768.94 24" RCP
NORTH INV= 769.44 12" PVC



REVISIONS:

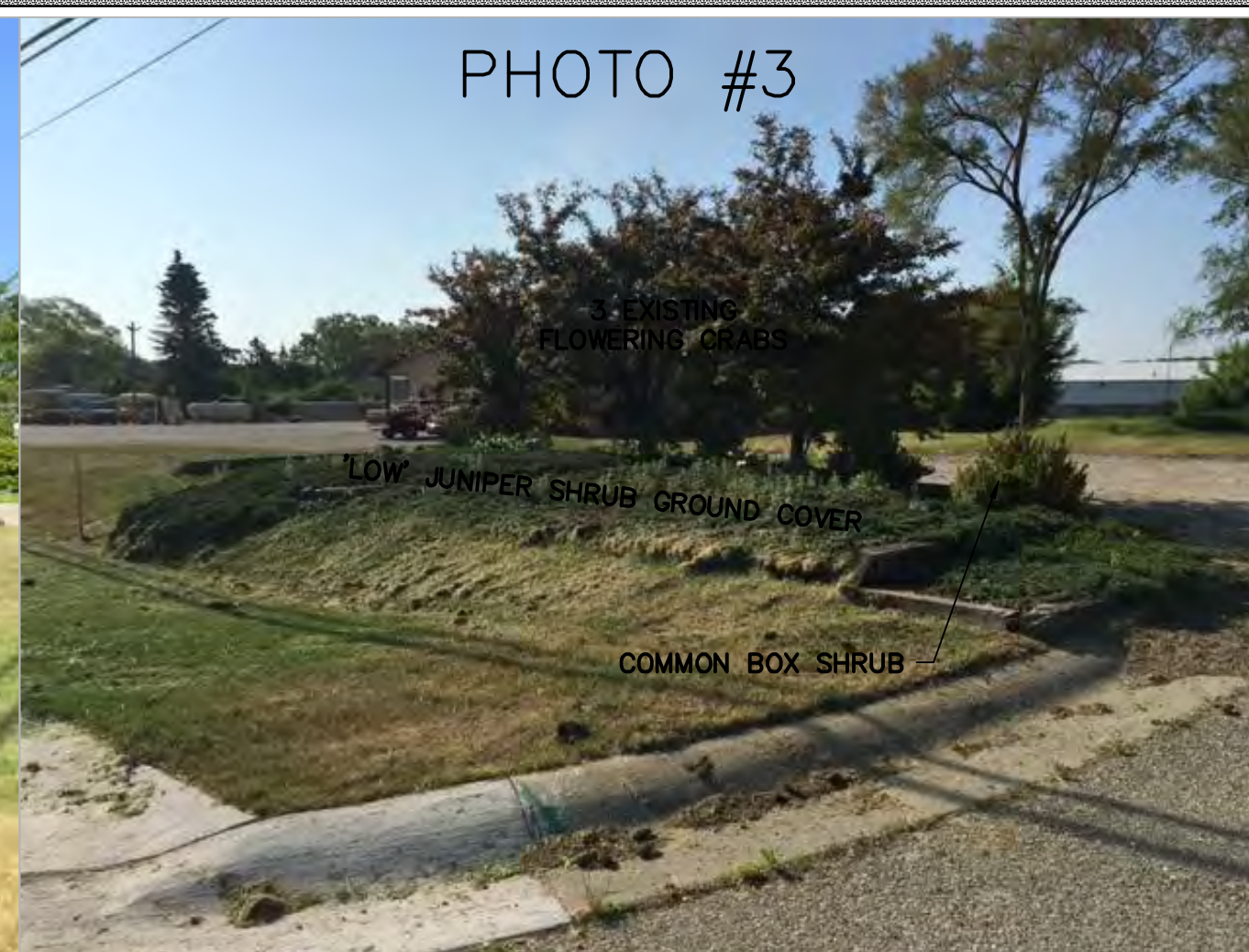
9-11-23	REVISIONS PER UNION TOWNSHIP PLANNING
6-26-23	SUBMITTAL TO UNION TOWNSHIP PLANNING
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10-13-23	SUBMITTAL TO UNION TOWNSHIP PLANNING

VERBAL COMMENTS BY ZA 10-9-23

SUBMITTALS:


6-26-23	SUBMITTAL TO UNION TOWNSHIP PLANNING
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SCALE	1" = 20'
JOB NUMBER:	2301-011
DRAWN BY:	BTM
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER	4 OF 12



REQUEST FOR CONSIDERATION
Section 10.7 Modifications to Landscape Requirements
In consideration of the overall design and impact of a specific landscape plan, and in consideration of the amount of existing plant material to be retained on the site, the Planning Commission may modify the specific requirements outlined herein, provided that any such adjustment is in keeping with the intent of Section 10 and the Ordinance in general.

CMS & D
SURVEYING/ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com




REQUIRED PROJECT LANDSCAPING:
IN ACCORDANCE WITH SECTION 10, LANDSCAPING AND SCREENING OF THE UNION CHARTER TOWNSHIP ORDINANCE, THE FOLLOWING SHALL BE PLANTED IN ACCORDANCE WITH SECTION 10.2 SUMMARY OF MINIMUM PLANTING REQUIREMENTS AND SUMMARY OF PLANT MATERIAL SPECIFICATIONS OF PLANTING AND SECTION 10.4, STANDARDS FOR LANDSCAPING MATERIALS.

LANDSCAPING ADJACENT TO E. REMUS ROAD.
1) THERE ARE SHOWN (2) "STREET" TREES REQUIRED FOR THE 100.15 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON E. REMUS ROAD. 1 TREE FOR EVERY 40 FRONT FEET.
2) THERE IS (1) REQUIRED ORNAMENTAL STREET TREES FOR THE 100.15 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON E. REMUS ROAD. 1 TREE FOR EVERY 100 FRONT FEET.
3) THERE ARE (16) SHRUBS REQUIRED FOR THE 100.15 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON E. REMUS ROAD. 8 SHRUBS FOR EVERY 40 FRONT FEET.

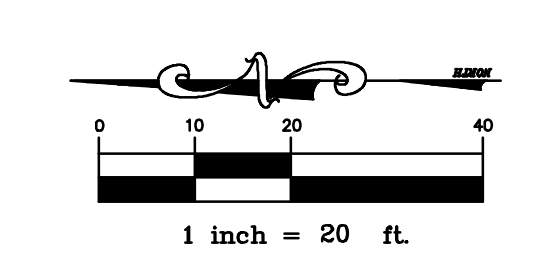
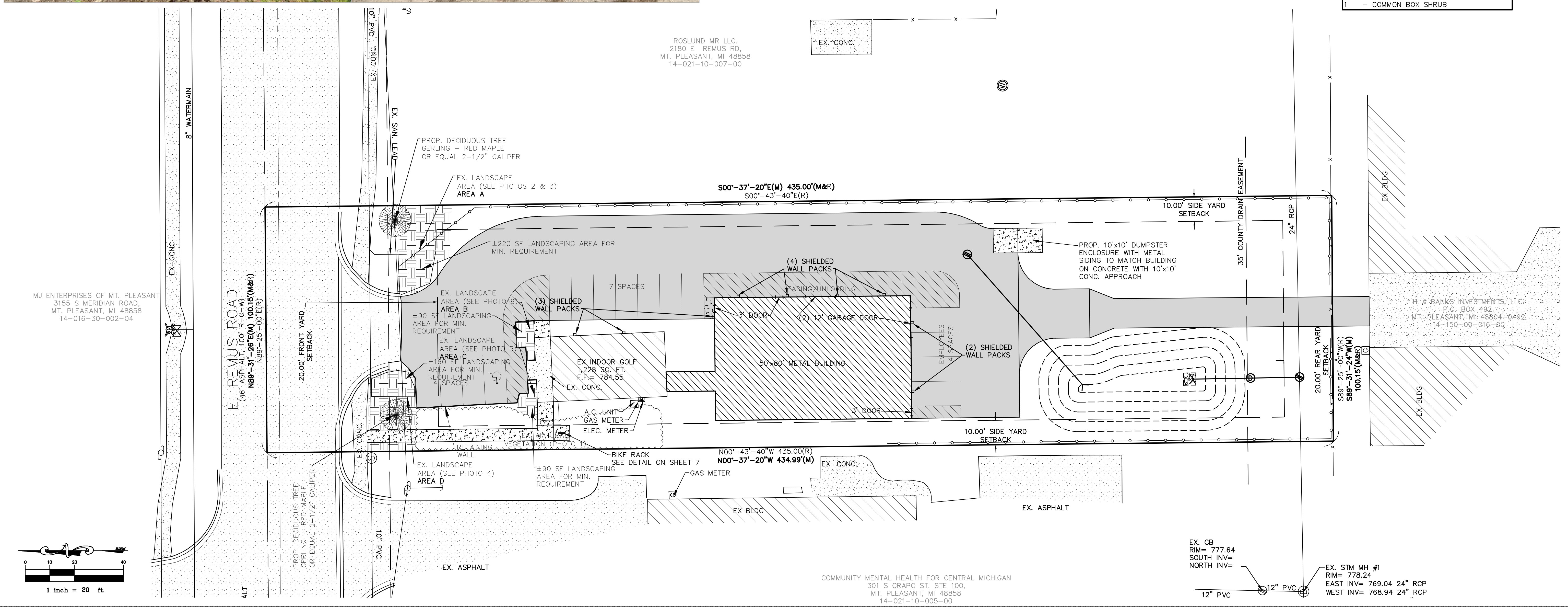
PARKING LOT LANDSCAPING SHALL BE 1 TREE FOR EVERY 5 PARKING SPACES, AND 30 SQ. FT. OF LANDSCAPE SPACE PER PARKING SPACE. THERE ARE 3 SHADE TREES AND 450 SQ. FT. OF LANDSCAPE SPACE FOR THE 15 PARKING SPACES INCLUDED IN THE PROJECT.

LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 10.5, INSTALLATION AND MAINTENANCE. LANDSCAPING WILL HAVE ONE YEAR GUARANTEE FROM THE INSTALLER. PRIOR TO THE ONE YEAR ANNIVERSARY, THE INSTALLER WILL REPLACE ANY DAMAGED, DYING OR DEAD PLANTINGS. FOLLOWING THIS GUARANTEE PERIOD, EACH SPRING, THE PLANTINGS SHALL BE INSPECTED AND ANY DAMAGED, DYING OR DEAD PLANTINGS WILL BE REPLACED. GENERAL LAWN AREAS WILL BE MAINTAINED AND MOWED REGULARLY.

TREE PLANTING GENERAL NOTES:
1. STAKE TREES UNDER 4" CALIPER
2. GUY TREES 4" CALIPER & OVER
3. PRUNE TO THIN & SHAPE CANOPY
4. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
5. SET TOP OF BALL TO CORRESPOND WITH FINISH GRADE
6. SET STAKES VERTICAL AND EVENLY
7. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH
8. SCARIFY SOIL TO 4" DEPTH & RECOMPACT
9. STAKES TO EXTEND 18" BELOW PIT IN UNDISTURBED SOIL

PROPOSED LANDSCAPING (REFER TO ABOVE PHOTOS)
THE REQUIRED SQUARE FOOTAGE OF LANDSCAPING THAT MUST BE PROVIDED UNDER THE ORDINANCE IS 360 SF. THERE IS A TOTAL 1452 SF PROVIDED IN THE EXISTING LANDSCAPE AREAS. THESE EXISTING AREAS HAVE EVERGREEN GROUND COVER AND OTHER PLANTING THAT WE WISH TO PROPOSE AS GREATER THAN OR EQUAL TO THE REQUIREMENTS OF THE ORDINANCE. THERE ARE (3) FLOWERING CRAB TREES, (1) 4 FT SPRUCE, (1) 4 FT CEDAR AND (1) MATURE CEDAR, AS WELL AS 8-10 MATURE EVERGREENS WHICH RESIDE ALONG THE WEST PROPERTY LINE. WE ARE PROPOSING TO INSTALL (2) STREET TREES (MAPLES) TO FULFILL THE EAST REMUS ROAD LANDSCAPING REQUIREMENTS. THE EXISTING LANDSCAPE AREAS TO BE TRIMMED, PRUNED, AND FRESHENED WITH MULCH AS NEEDED.

EXISTING LANDSCAPING:
AREA A
11 - 'LOW' JUNIPER SHRUB GROUND COVER
1 - COMMON BOX SHRUB
3 - FLOWERING CRABS
AREA B
5 - JUNIPERUS SEMIGLOBOSA (HEGDE)
AREA C
3 - JUNIPERUS SEMIGLOBOSA (HEGDE)
1 - GREAT LAUREL SHRUB
1 - 'ADAMS NEEDLE' YUCCA
AREA D
4 - 'LOW' JUNIPER SHRUB GROUND COVER
1 - COMMON BOX SHRUB



LIGHTING & LANDSCAPING PLAN
HAL & ERIN BANKS
PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4
OF SECTION 21, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

SCALE	1" = 20'	JOB NUMBER:	2301-011	SUBMITTALS TO UNION TOWNSHIP PLANNING	6-26-23
SHEET NUMBER	5 OF 12	DRAWN BY:	BTM	SUBMITTALS TO UNION TOWNSHIP PLANNING	8-29-23
		DESIGNED BY:	TELB	SUBMITTALS TO UNION TOWNSHIP PLANNING	9-21-23
		CHECKED BY:	TELB	SUBMITTALS TO UNION TOWNSHIP PLANNING	10-3-23
				SUBMITTALS TO UNION TOWNSHIP PLANNING	10-9-23
				SUBMITTALS TO UNION TOWNSHIP PLANNING	10-13-23
				SUBMITTALS TO UNION TOWNSHIP PLANNING	9-11-23
				REVISIONS PER UNION TOWNSHIP PLANNING	9-11-23

POND VOLUMES
 775.0 CONTOUR = 25
 776.0 CONTOUR = 388 SF
 777.0 CONTOUR = 916 SF
 778.0 CONTOUR = 1,543 SF
 779.0 CONTOUR = 2,271 SF
 780.0 CONTOUR = 3,099 SF

VOL 776.0 = (25 + 388) / 2 * 1/2 = 206.5 CF
 VOL 777.0 = (388 + 916) / 2 * 1/2 = 652 CF
 VOL 778.0 = (916 + 1,543) / 2 * 1/2 = 1,229.5 CF
 VOL 779.0 = (1,543 + 2,271) / 2 * 1/2 = 1,907 CF
 VOL 780.0 = (2,271 + 3,099) / 2 * 1/2 = 2,685 CF

T-VOL = 858.5 CF
 T-VOL = 2,088 CF
 T-VOL = 3,995 CF
 T-VOL = 6,680 CF

Total Drainage Area: 43,564 sq. ft. = 1.00 acres
 Total Impervious Area: 12,834 sq. ft. = 0.29 acres
 Total Pervious Area: 30,730 sq. ft. = 0.71 acres

STORM WATER CALCULATIONS:

Allowable Discharge (0.10 cfs/acre) - 1.00 acres * 0.10 cfs/acre = 0.10 cfs
 Design Ponding Elevation = 779.0
 Invert of Restrictor Elevation = 755.35

Restrictor Calculation

Formula: $Q = Q_a / [0.62(64.4(h))^{1/2}]$
 $Q_a = \text{Area of orifice in sq. ft.} \times \text{Allowable outflow}$
 $h = \text{elevation difference from maximum ponding elevation to centerline of orifice}$
 $Q = 0.10 \text{ cfs} / 0.62 [(64.4)(779.0 - 775.35)]^{1/2}$
 $Q = 0.10 \text{ cfs}$
 $a = \pi(D^2) / 4 = D = 0.114 \text{ ft} = 1.36 \text{ inches}$

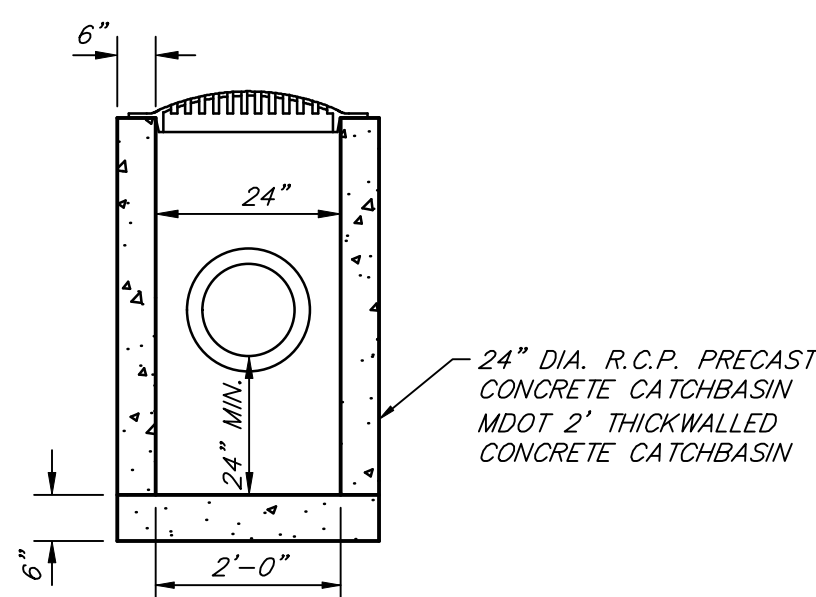
FOR MAINTENANCE AND FUNCTIONALITY A 2.00 INCH MINIMUM ORIFICE AREA IS USED.

RESTRICTOR CALCULATION

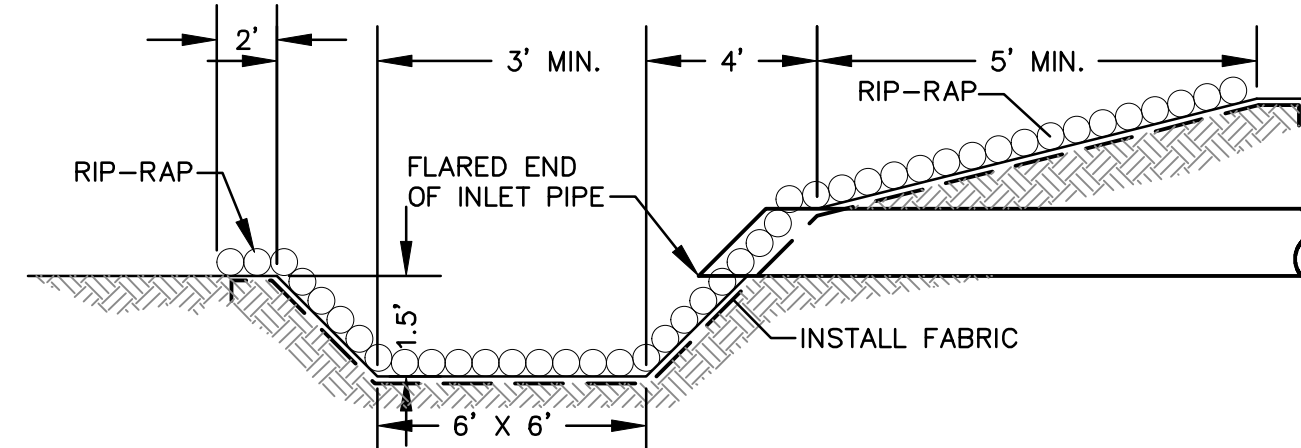
FORMULA: $A = \pi(D^2) / 4$
 $A = \pi(2/12)^2 / 4 = 0.022 \text{ SQ. FT.}$
 $Q_A = 0.62A(64.4(H))^{1/2}$
 $Q_A = [0.62(0.022)]^{1/2} [(64.4)(3.65)]^{1/2}$
 $Q_A = 0.209 \text{ CFS}$

Therefore the required on site detention for a 25 Year/24 Hour Storm Event is 3,868 cft. The system as proposed provides the required detention at 778.9 elevation. Therefore, there is 1.1 feet of freeboard for the 25 Year/24 Hour Storm.

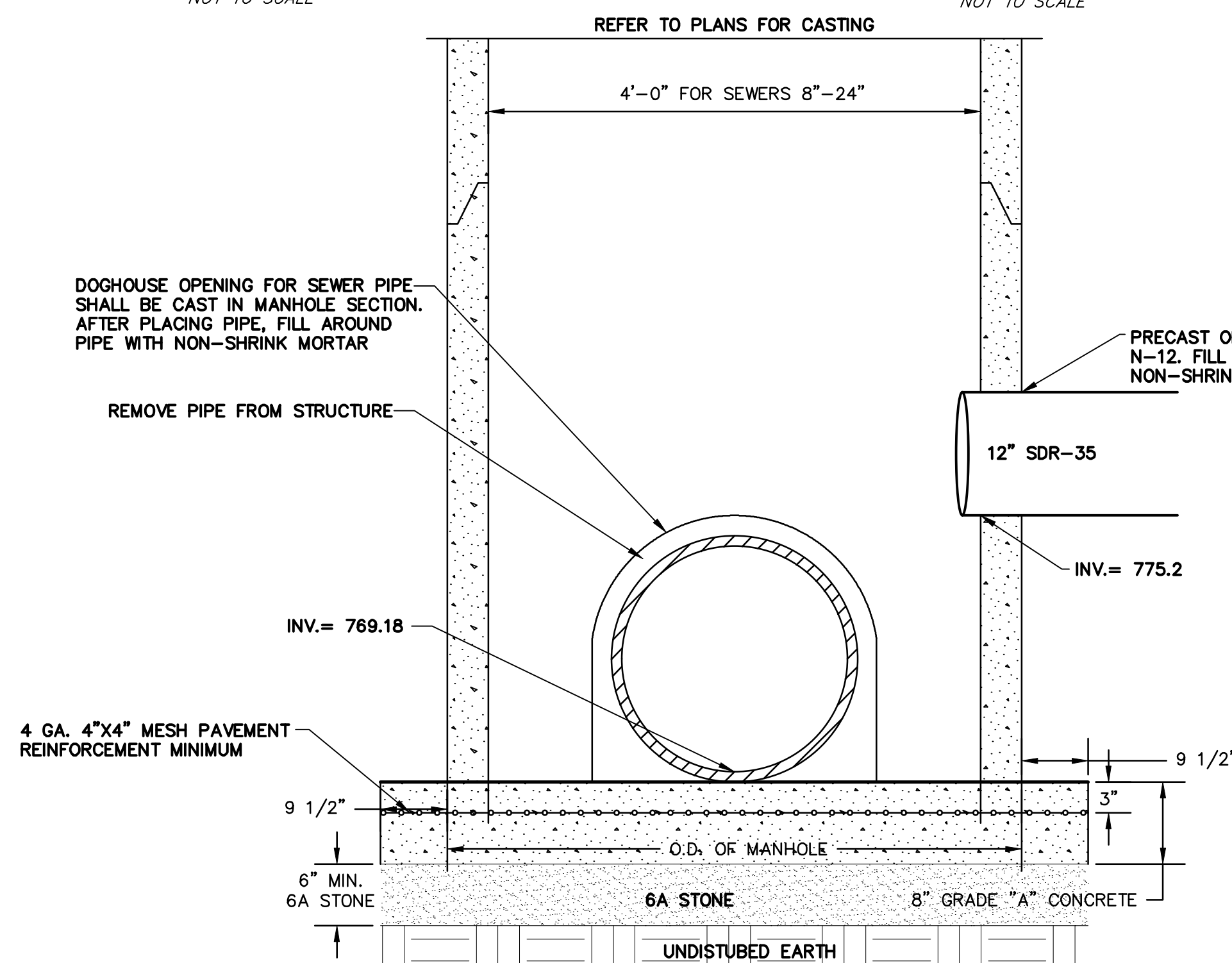
The required on site detention for a 100 Year/24 Hour Storm Event is 4,969 cft. The system as proposed provides 5,089 cft at the 779.4 ponding elevation. Therefore the 100 Year Storage Elevation would occur at 779.4 contour and have 0.6 feet of freeboard. The maximum storage volume at overflow = 6,680 cft.



2' DIA. CATCH BASIN DETAIL
 NOT TO SCALE



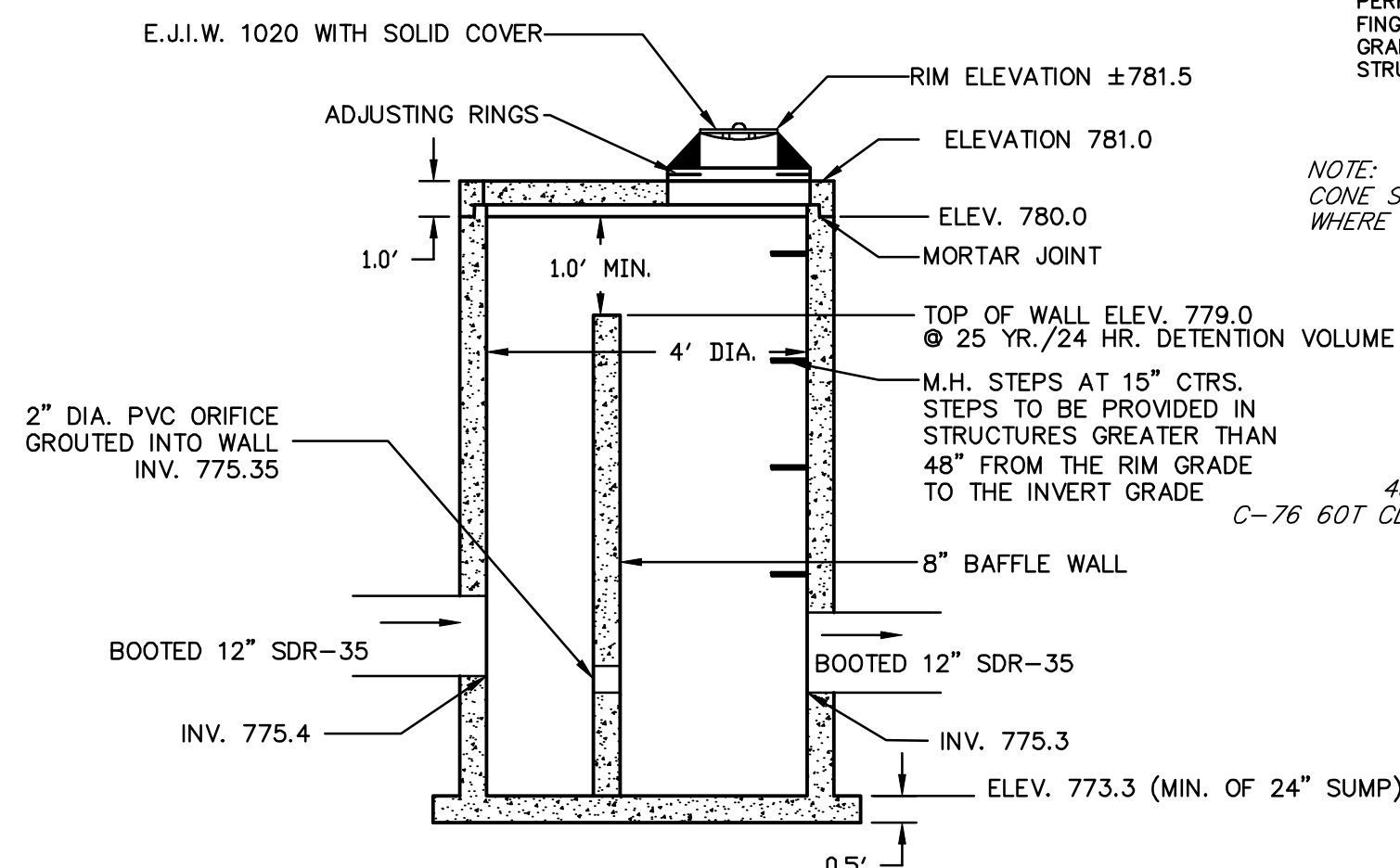
RIP-RAP SEDIMENT TRAP DETAIL
 NOT TO SCALE



STANDARD MANHOLE BUILT OVER EXISTING SEWER
 N.T.S.

NOTE: MANHOLE RISERS AND CONES SHALL MEET THE REQUIREMENT OF A.S.T.M. SPEC.-C-478. LENGTH OF EACH RISER SHALL BE A MULTIPLE OF 16" LENGTH OF CONE SHALL BE 2'-8" MIN. TWO LIFT HOLES WILL BE PERMITTED IN EACH UNIT, AND MUST BE FILLED WITH NON-SHRINK MORTAR AFTER SETTING MANHOLE.

BAFFLE WALL CONSTRUCTION NOTES
 1. BAFFLE WALL TO BE CONSTRUCTED OF 8" CONCRETE BLOCK WITH SMOOTH-RAKED JOINTS.
 2. EPOXY #4 REINFORCING BARS INTO THE SIDEWALLS AND BASE OF THE PRECAST STRUCTURE AT 8" SPACING. BARS ARE TO EXTEND ACROSS THE ENTIRE WIDTH OF THE STRUCTURE.
 3. PLACE #4 REINFORCING BARS IN THE BAFFLE WALL VERTICALLY AT 12" SPACINGS. THE VERTICAL BARS TO HORIZONTAL BARS.
 4. GROUT-FILL ALL CONCRETE BLOCK
 5. COAT ENTIRE BAFFLE WALL WITH XYPEX WATERPROOFING OR APPROVED EQUAL.



P-STMH#2 STORM WATER OVERFLOW STRUCTURE
 NOT TO SCALE

DETENTION POND DESIGN CALCULATION

Site Location **Hal Banks - Remus Road - Union Twp**
 Proposed Storm Water Management Plan With 2" Orifice

Area (Acres)	C	Proposed Runoff "C" Value	Proposed Runoff "C" Value
Hard Surface/Imperv. Area	0.47	0.95	0.61 (I)
Gravel	0.00	0.75	0.20 (H)
Green Space/Lawn	0.53	0.30	0.20 (G)
Cont. Drainage Area (Acres)	1.00 (J)		Storm Recurrence Interval (Yrs) 25

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	25-Year Total Rainfall (Inches)	25-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	6.00	3.63	1,090	0.20	1,030
10	0.17	0.87	5.22	3.16	1,896	0.20	1,776
15	0.25	1.12	4.48	2.71	2,441	0.20	2,261
20	0.33	1.30	3.90	2.36	2,834	0.20	2,594
30	0.50	1.54	3.08	1.86	3,357	0.20	2,997
40	0.67	1.75	2.63	1.59	3,815	0.20	3,335
50	0.83	1.89	2.27	1.37	4,120	0.20	3,520
60	1.00	1.95	1.95	1.18	4,251	0.20	3,531
90	1.50	2.27	1.51	0.92	4,948	0.20	3,868
120	2.00	2.41	1.21	0.73	5,253	0.20	3,813
180	3.00	2.66	0.89	0.54	5,798	0.20	3,638
360	6.00	3.11	0.52	0.31	6,779	0.20	2,459
720	12.00	3.61	0.30	0.18	7,869	0.20	-771
1080	18.00	3.90	0.22	0.13	8,501	0.20	-4,459
1440	24.00	4.15	0.17	0.10	9,046	0.20	-8,234

Maximum: 3,868

RETENTION POND DESIGN CALCULATION

Retain back to back 25-Year 24 Hour Design Storm from the Entire Contributing Area (4.15 Inches of Rainfall) 18,243 CFT

- A) Duration of the storm event in minutes.
- B) Duration of the storm event in hours.
- C) Total amount of rainfall during a 25-year recurrence storm event for the given duration in Column A & B (ref. midwestern climatological center rainfall Atlas-Bulletin 71).
- D) Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- E) The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying intensity (D) and Drainage Area (I).
- F) The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- G) The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlets capacity on a contributing area basis.
- H) The required retention storage is determined by multiplying the difference flow rate (Inflow (E) - Outflow (G)), by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- I) Proposed weighted runoff coefficient.
- J) Contributing Drainage to the proposed detention or retention system.

Calculation By: Timothy Bebee, P.S.

Date: August 20th, 2023

Central Michigan Surveying and Development Co., Inc
 November 2022

DETENTION POND DESIGN CALCULATION

Site Location **Hal Banks - Remus Road - Union Twp**
 Proposed Storm Water Management Plan With 2" Orifice

Area (Acres)	C	Proposed Runoff "C" Value	Proposed Runoff "C" Value
Hard Surface/Imperv. Area	0.47	0.95	0.61 (H)
Gravel	0.00	0.75	0.20 (G)
Green Space/Lawn	0.53	0.30	0.20 (F)
Cont. Drainage Area (Acres)	1.00 (J)		Storm Recurrence Interval (Yrs) 100

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	100-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)	
10	0.17	7.19	4.35	2,612	0.20	2,492	
20	0.33	5.06	3.06	3,677	0.20	3,437	
30	0.50	3.94	2.39	4,294	0.20	3,934	
40	0.67	3.26	1.97	4,737	0.20	4,257	
50	0.83	2.80	1.70	5,086	0.20	4,486	
60	1.00	2.46	1.49	5,362	0.20	4,642	
120	2.00	1.47	0.89	6,409	0.20	4,969	
180	3.00	1.08	0.65	7,063	0.20	4,903	
240	4.00	0.86	0.52	7,499	0.20	4,619	
300	5.00	0.72	0.44	7,847	0.20	4,247	
360	6.00	0.62	0.38	8,109	0.20	3,789	
480	8.00	0.49	0.30	8,545	0.20	2,785	
600	10.00	0.41	0.25	8,937	0.20	1,737	
720	12.00	0.35	0.21	9,155	0.20	515	
1080	18.00	0.25	0.15	9,809	0.20	-3,151	
1440	24.00	0.20	0.12	10,463	0.20	-6,817	

Maximum: 4,969

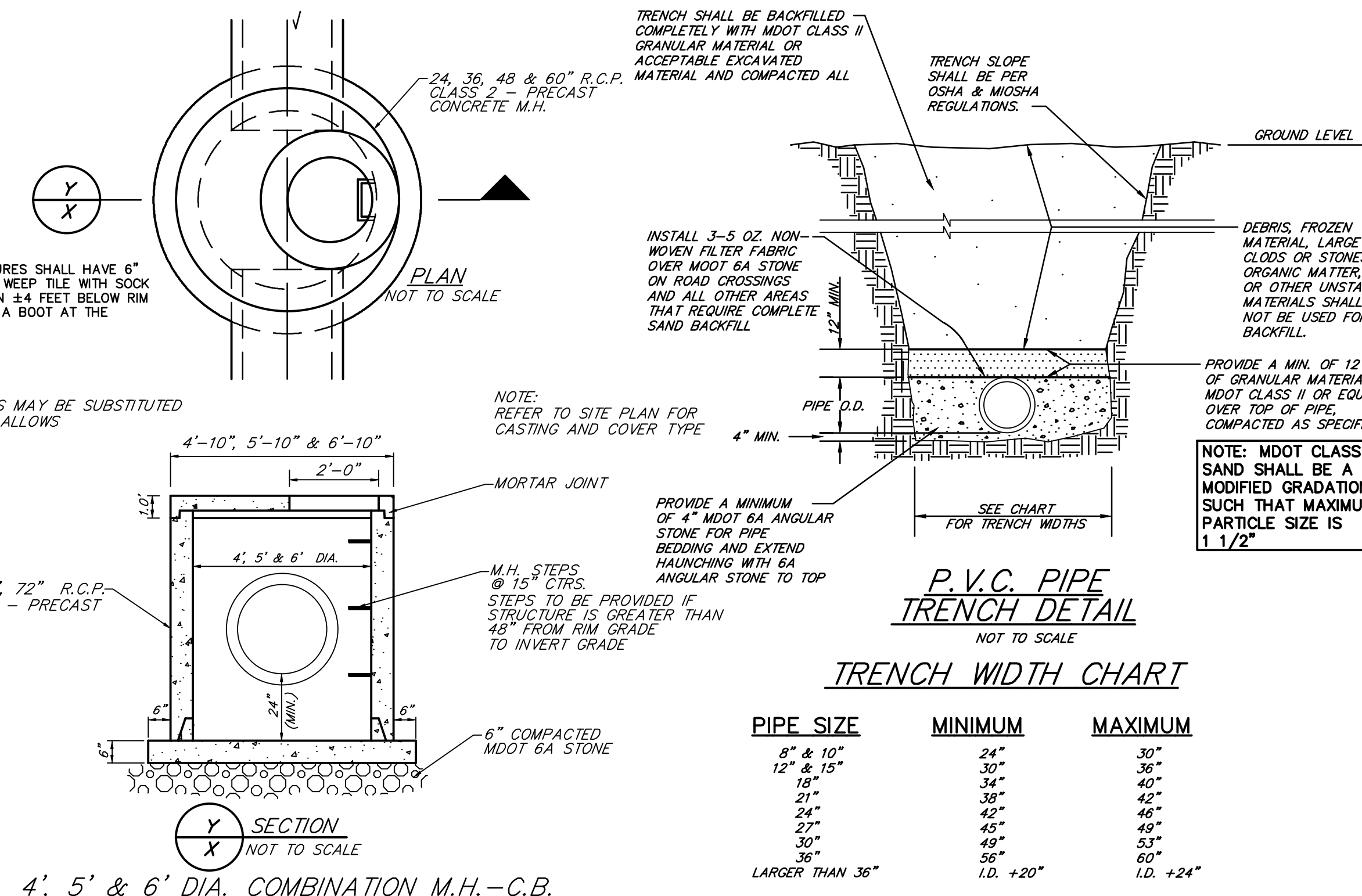
RETENTION POND DESIGN CALCULATION

- A) Duration of the storm event in minutes.
- B) Duration of the storm event in hours.
- C) Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- D) The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying intensity (D) and Drainage Area (I).
- E) The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- F) The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlets capacity on a contributing area basis.
- G) The required retention storage is determined by multiplying the difference flow rate (Inflow (E) - Outflow (F)), by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- H) Proposed weighted runoff coefficient.
- J) Contributing Drainage to the proposed detention or retention system.

Calculation By: Timothy Bebee, P.S.

Date: 8/20/2023

Central Michigan Surveying and Development Co., Inc
 November 2022



P.V.C. PIPE TRENCH DETAIL
 NOT TO SCALE

TRENCH WIDTH CHART

PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	42"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36"	I.D. + 20"	I.D. + 24"

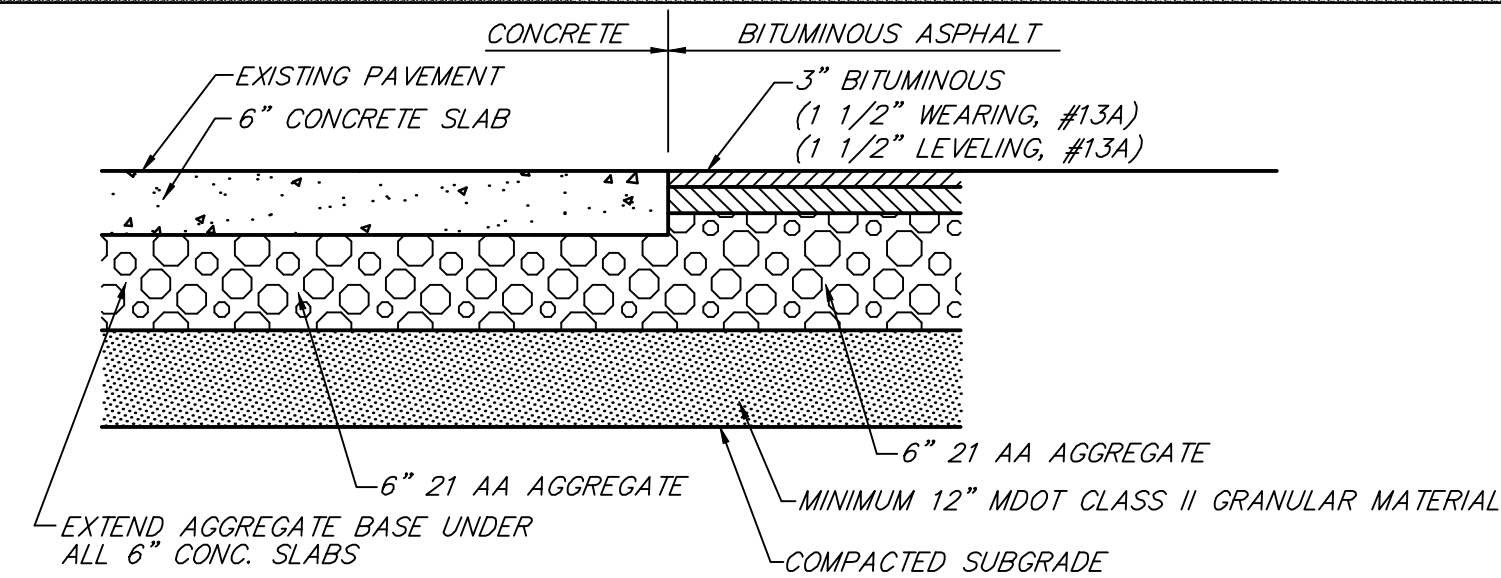
4', 5' & 6' DIA. COMBINATION M.H.-C.B.
 NOT TO SCALE



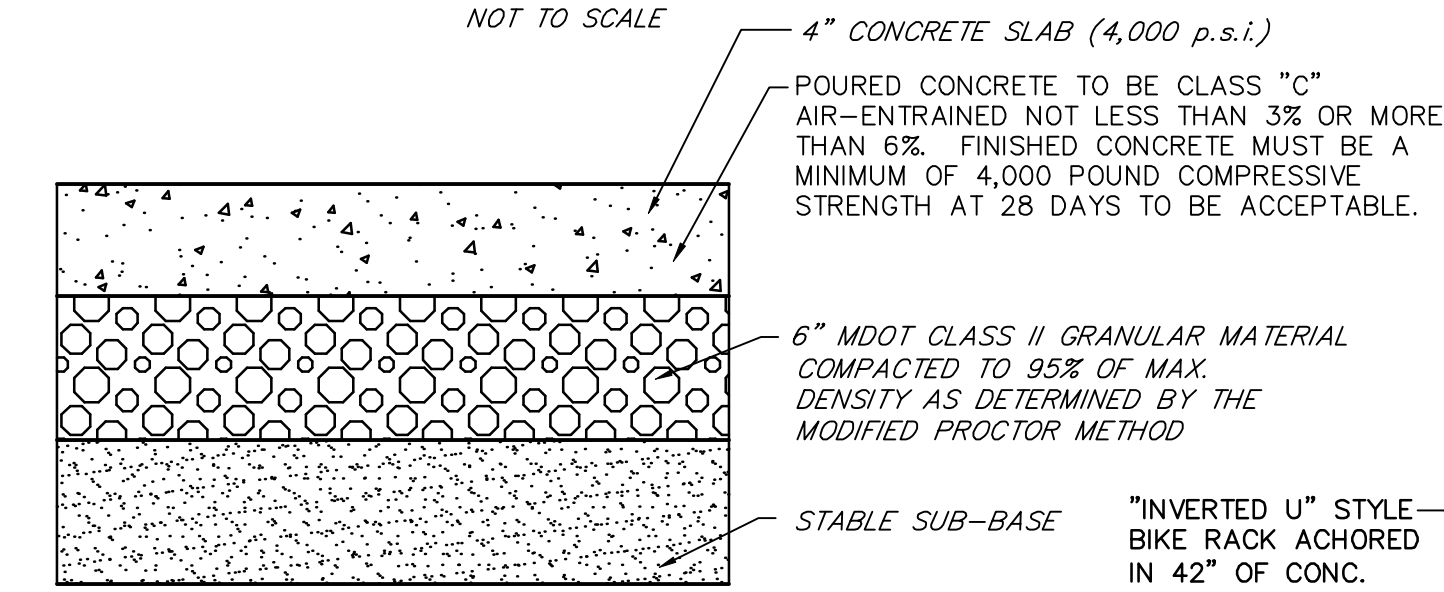
NO.	DATE	DESCRIPTION
1	9-11-23	SUBMITTAL TO UNION TOWNSHIP PLANNING 9-11-23
2	9-29-23	SUBMITTAL TO UNION TOWNSHIP PLANNING 8-29-23
3	9-21-23	SUBMITTAL TO UNION TOWNSHIP PLANNING 9-21-23
4	10-3-23	SUBMITTAL TO UNION TOWNSHIP PLANNING 10-3-23
5	9-9-23	SUBMITTAL TO UNION TOWNSHIP PLANNING 10-9-23
6	10-13-23	SUBMITTAL TO UNION TOWNSHIP PLANNING 10-13-23

JOB NUMBER:	DESIGNED BY:	CHECKED BY:
2301-011	BTM	TELB

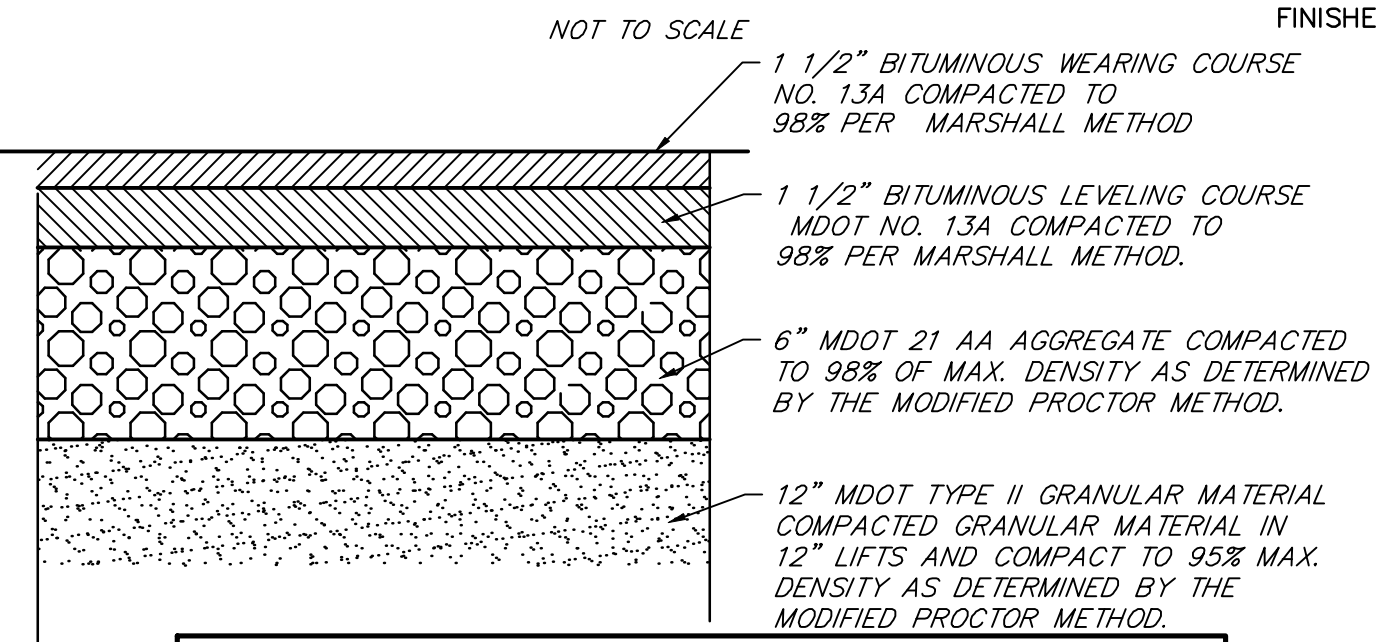
SCALE:	SHEET NUMBER:
N/A	6 OF 12



TYPICAL 6" CONCRETE SLAB CROSS-SECTION
NOT TO SCALE

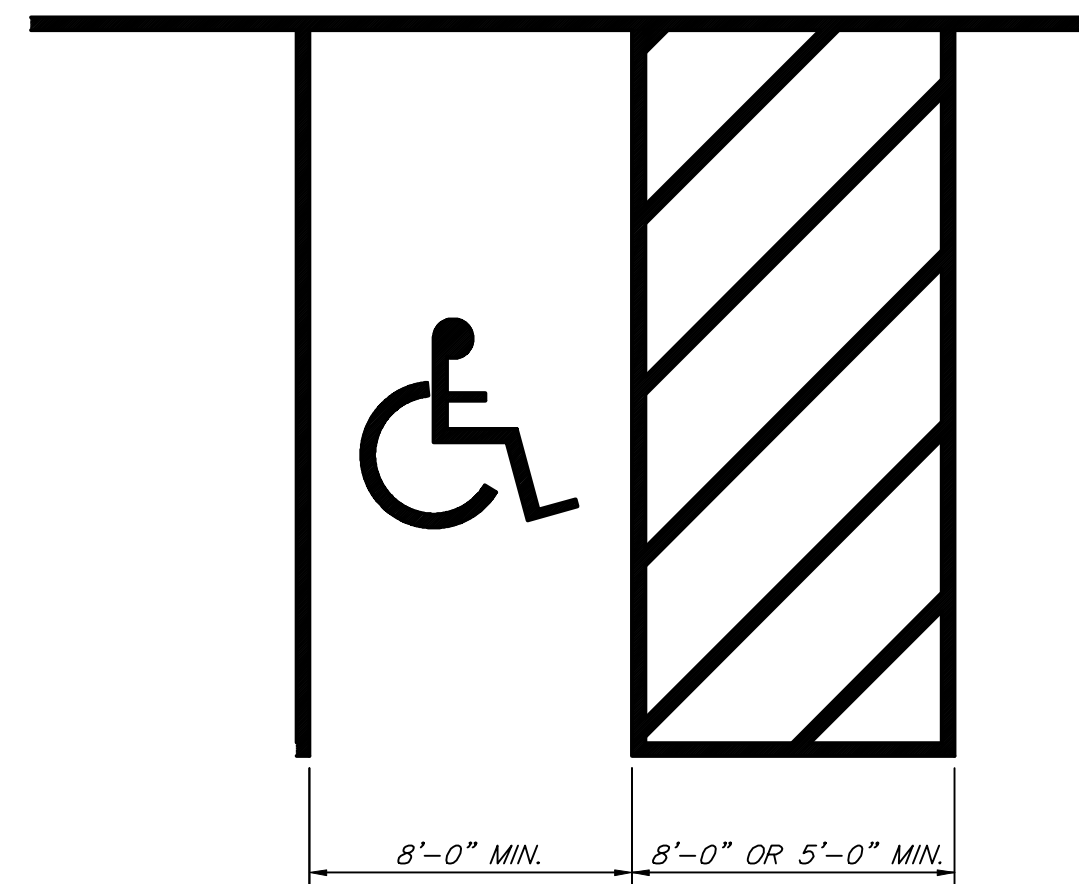


CONCRETE SIDEWALK CROSS-SECTION
NOT TO SCALE

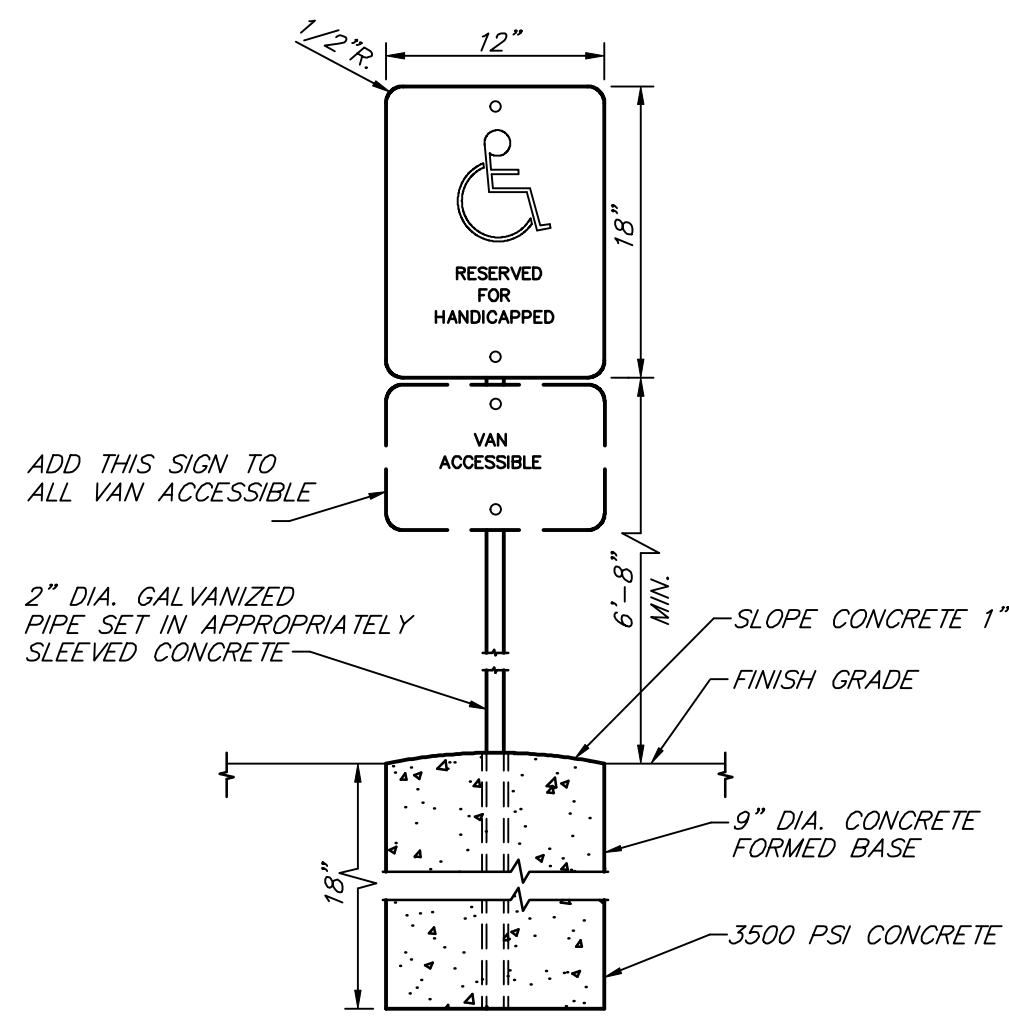


PARKING LOT ASPHALT PAVEMENT CROSS-SECTION
NOT TO SCALE

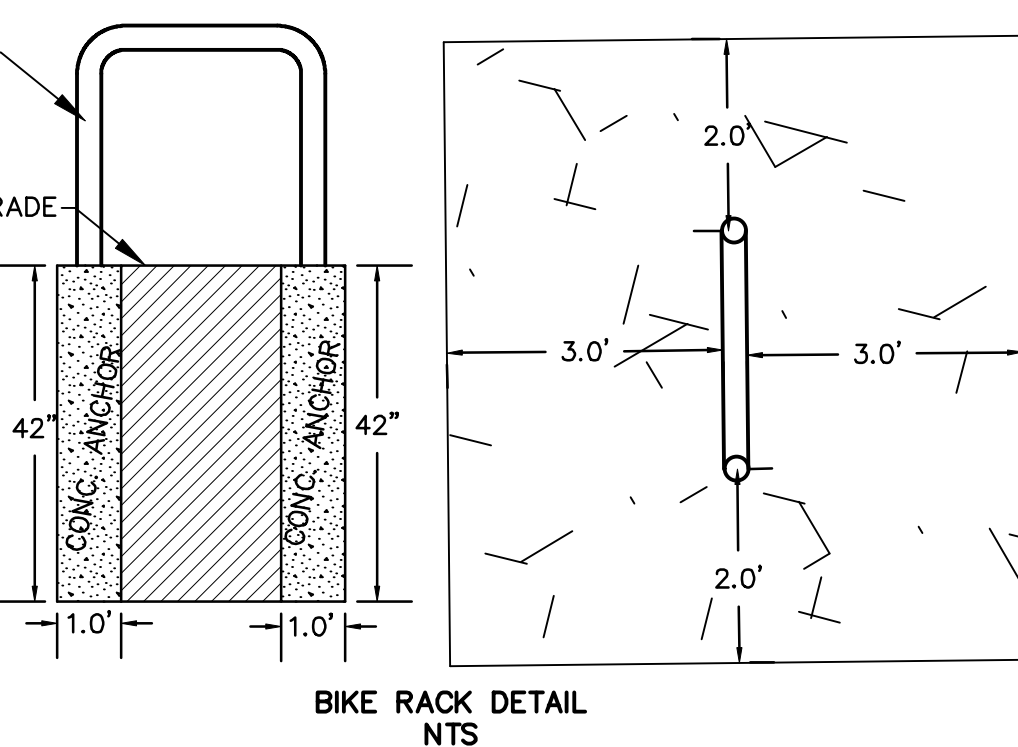
NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.



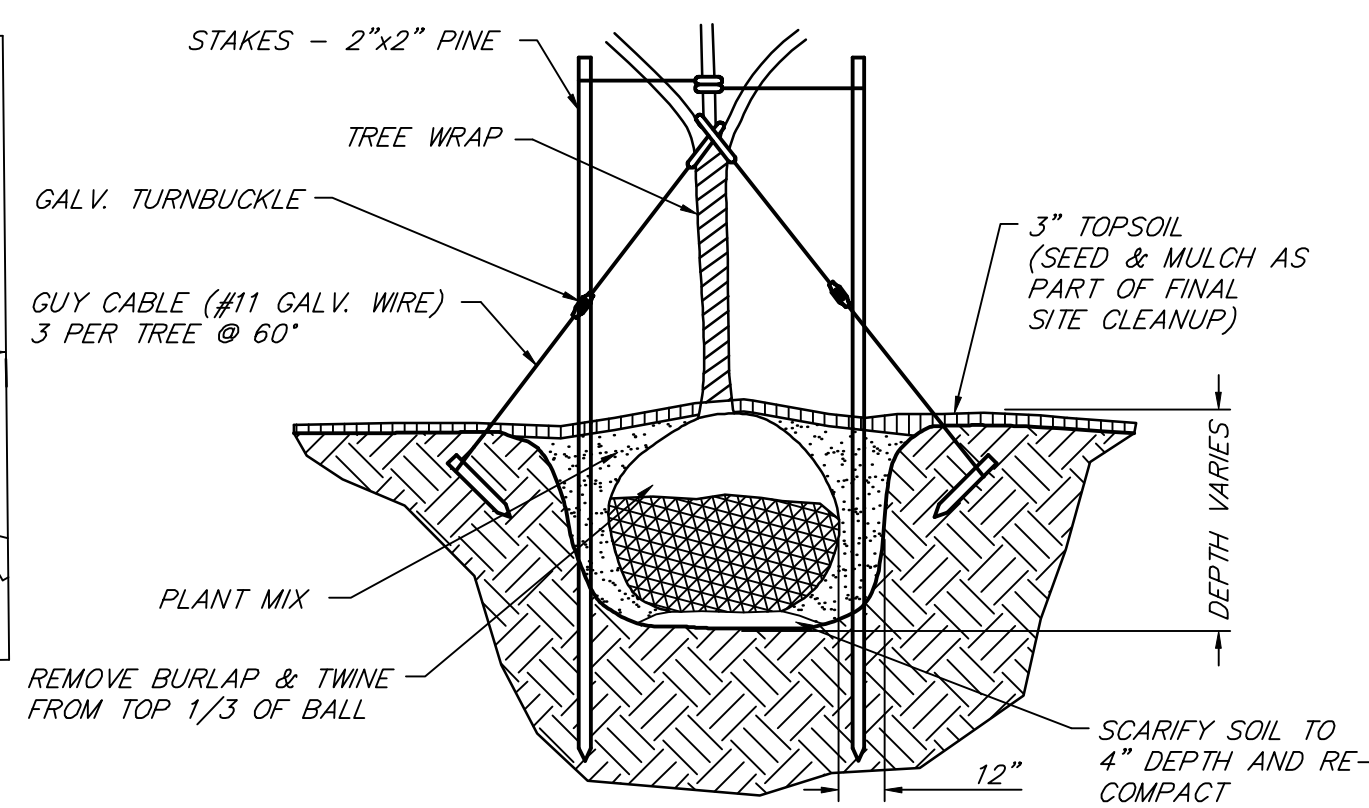
BARRIER FREE PARKING SPACES
NOT TO SCALE



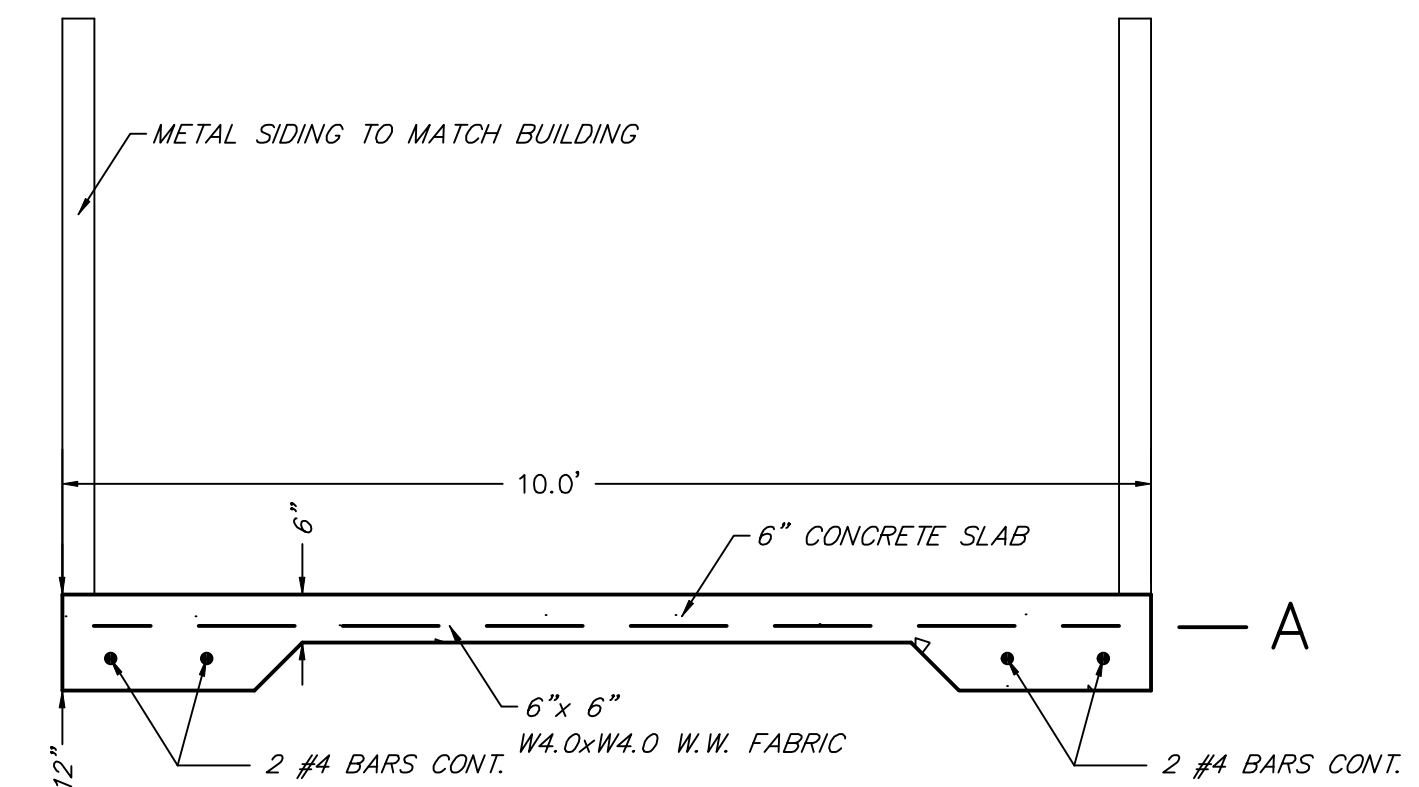
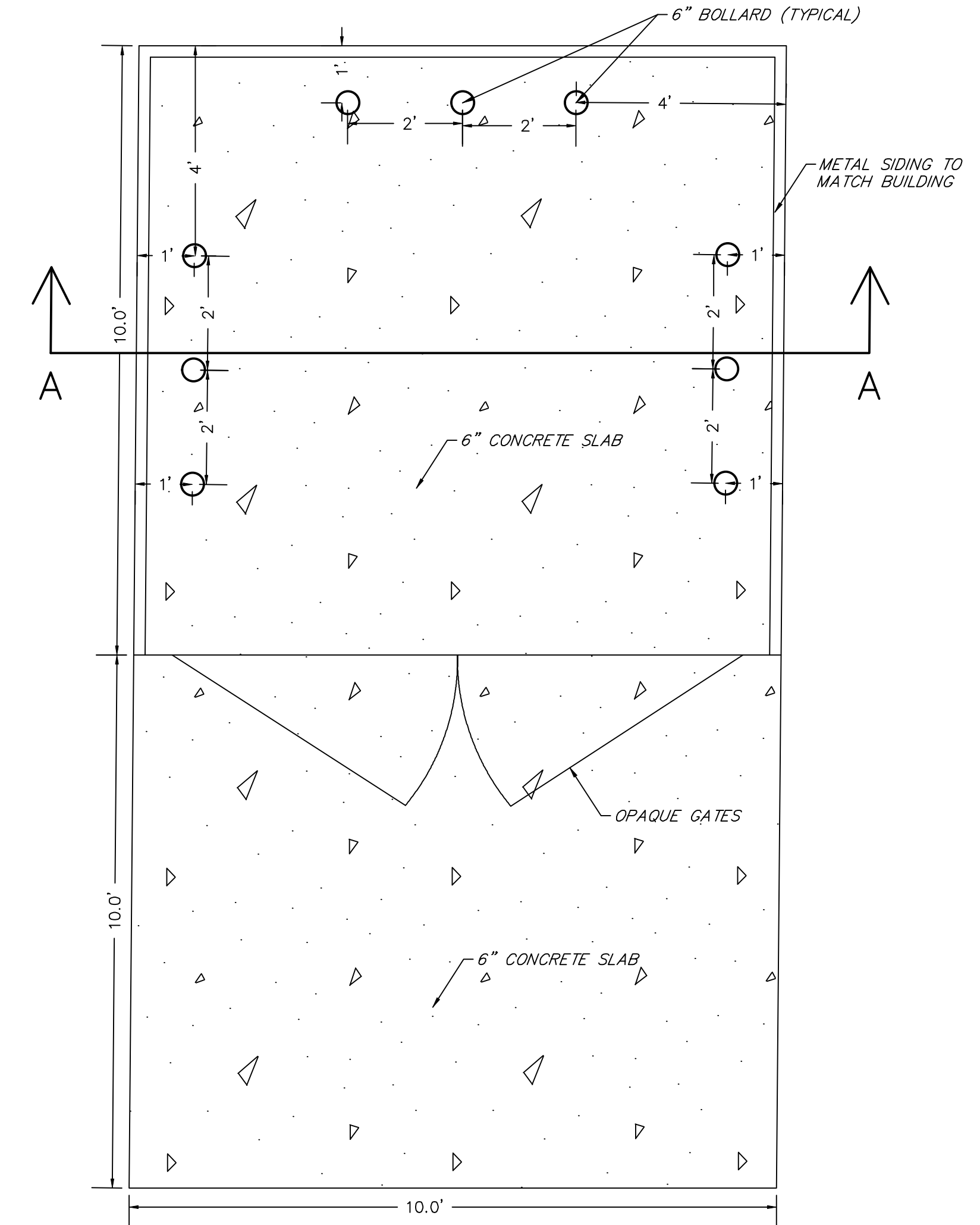
TYP. BARRIER FREE PARKING SIGN
NOT TO SCALE



BIKE RACK DETAIL NTS



TYP. TREE PLANTING DETAIL
NOT TO SCALE



DUMPSTER DETAIL
NOT TO SCALE



REVISIONS:

REVISIONS PER UNION TOWNSHIP PLANNING 9-11-23
VERBAL COMMENTS BY ZA 10-9-23

REVISIONS:	REVISIONS PER UNION TOWNSHIP PLANNING 10-11-23
REVISIONS PER UNION TOWNSHIP PLANNING 6-26-23	
REVISIONS PER UNION TOWNSHIP PLANNING 8-29-23	
REVISIONS PER UNION TOWNSHIP PLANNING 9-21-23	
REVISIONS PER UNION TOWNSHIP PLANNING 10-3-23	
REVISIONS PER UNION TOWNSHIP PLANNING 10-9-23	
REVISIONS PER UNION TOWNSHIP PLANNING 10-13-23	

JOB NUMBER:	2301-011
DRAWN BY:	BTM
DESIGNED BY:	TELB
CHECKED BY:	TELB

SCALE:	N/A
SHEET NUMBER:	7 OF 12

SLIM17FA15ADJ



Project:	Type:		
Prepared By:	Date:		
Driver Info			
Type	Constant Current	Watts	15W
120V	0.13A	Color Temp	3000K/4000K/5000K
208V	0.07A	Color	
240V	0.06A	Accuracy	70 CRI
277V	0.05A	L70	100,000 Hours
Input Watts	14.20/14.2W	Lifespan	11531/9640/852
		Dimmers	120/135/213/3
		Efficacy	lm/W

Technical Specifications

Field Adjustability	LED Characteristics	Construction
Field Adjustable: Color temperature selectable by 3000K, 4000K and 5000K	LEDs: Long-life, high-efficiency, surface-mount LEDs	IP Rating: Ingress protection rating of IP65 for dust and water
Compliance	Electrical	Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)
UL Listed: Suitable for wet locations	Driver: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A	Maximum Ambient Temperature: Suitable for use in up to 50°C (122°F)
IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80	Dimming Drivers: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm down to 10%.	Housing: Precision die-cast aluminum housing and door frame
DLC Listed: This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S 3 requirements DLC Product Code: RLM0J0V6203	Photocell: 120-277V integrated dusk photocell included. Photocell is compatible with 120V/277V.	
Performance	Note: All values are typical (tolerance +/- 10%)	
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations		

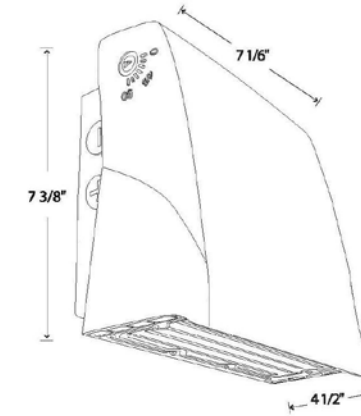
Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
Copyright © 2021 RAB Lighting All Rights Reserved Note: Specifications are subject to change at any time without notice

SLIM17FA15ADJ



Construction	Finish: Formulated for high durability and long-lasting color	Equivalency: Equivalent to 70W Metal Halide
Lens: Polycarbonate lens	Green Technology: Mercury and UV free, RoHS-compliant components.	Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.
Mounting: Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap	Other	
Cut Off: Adjustable from 0° (full cutoff) to 90°, 7 settings at 15° each.	5 Yr Limited Warranty: The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty .	

Dimensions



Features

- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming standard

Ordering Matrix

Family	Wattage	Style
SLIM17FA	15	ADJ
	15 = 15W	ADJ = Angle Adjustable
	30 = 30W	

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
Copyright © 2021 RAB Lighting All Rights Reserved Note: Specifications are subject to change at any time without notice

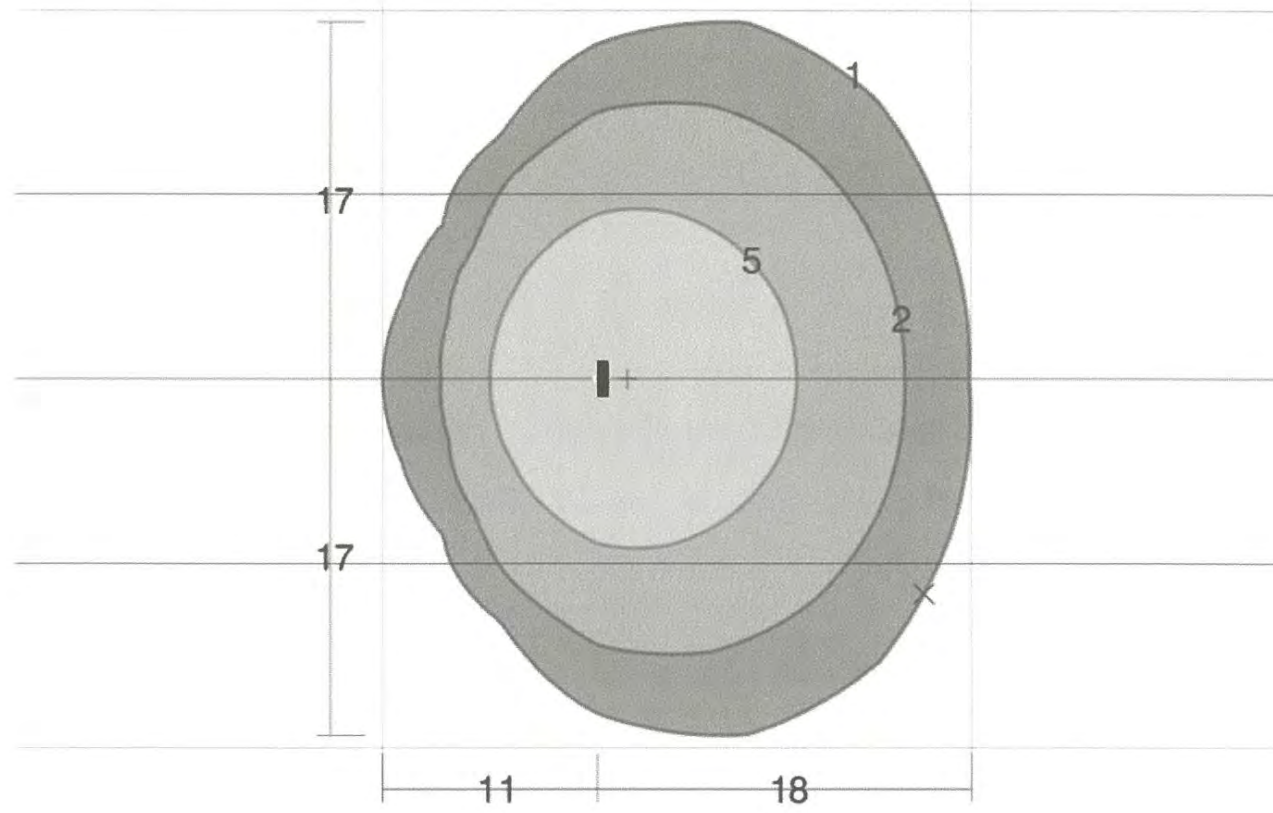


slim17fa30adj_5k.ies
RAB Lighting Inc.
SLIM17FA15ADJ_5K at 0% CCT Setting
Single (Arm)



Luminaire Watts	30 W
Ballast/Driver Factor	1.00
Light Loss Factor	1.00
Total Proration Factor	1.00
Luminaire Lumens	3540 lms

12 ft



Min: 1.0 fc × Max/Avg: 3.1
Avg: 3.6 fc Avg/Min: 3.6
Max: 11 fc + Max/Min: 11

Version 1.3.0

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CMS & D
SURVEYING / ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-5012
FAX: (989) 775-5012
EMAIL: info@cms-d.com

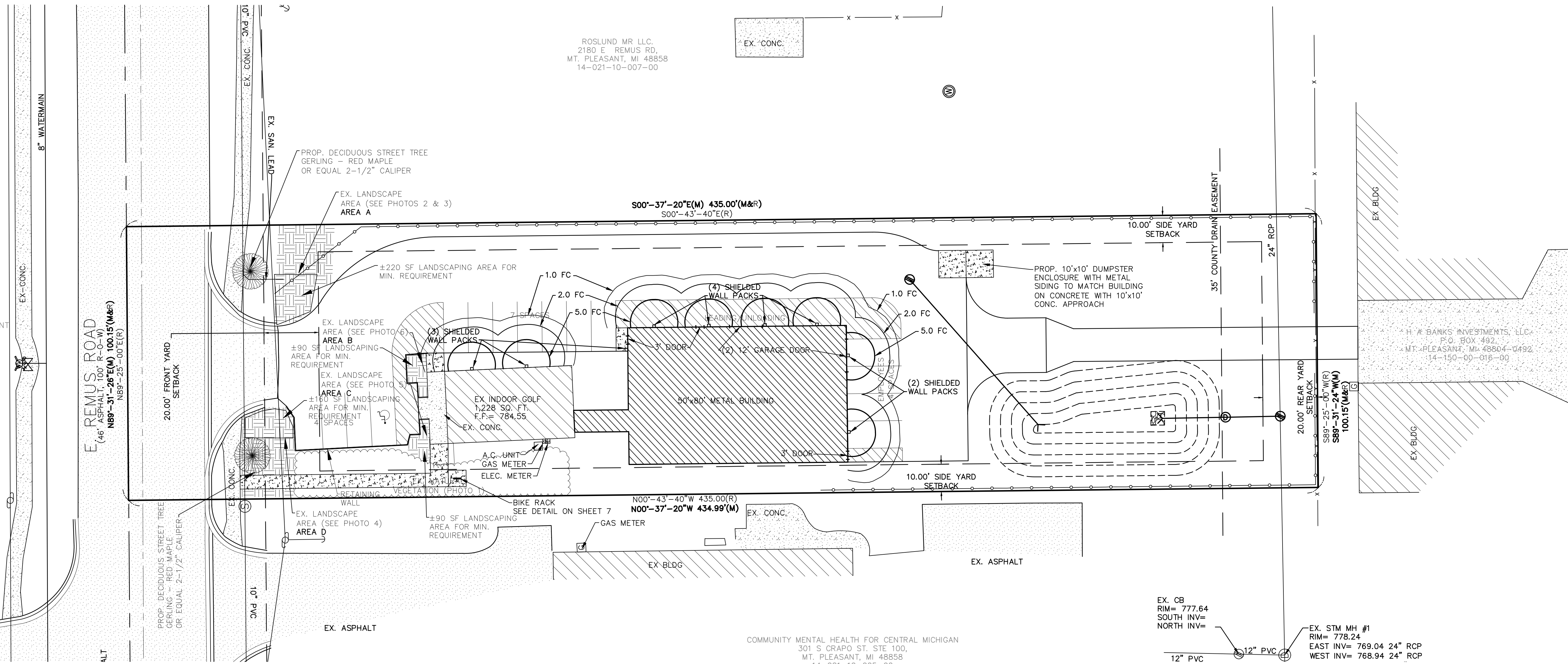
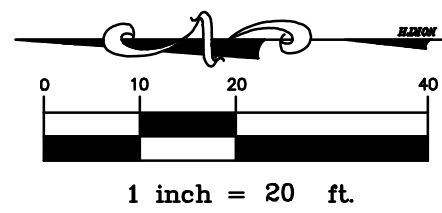


LIGHTING PLAN
HAL & ERIN BANKS
PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 21, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

MJ ENTERPRISES OF MT. PLEASANT
3155 S MERIDIAN ROAD,
MT. PLEASANT, MI 48858
14-016-30-002-04

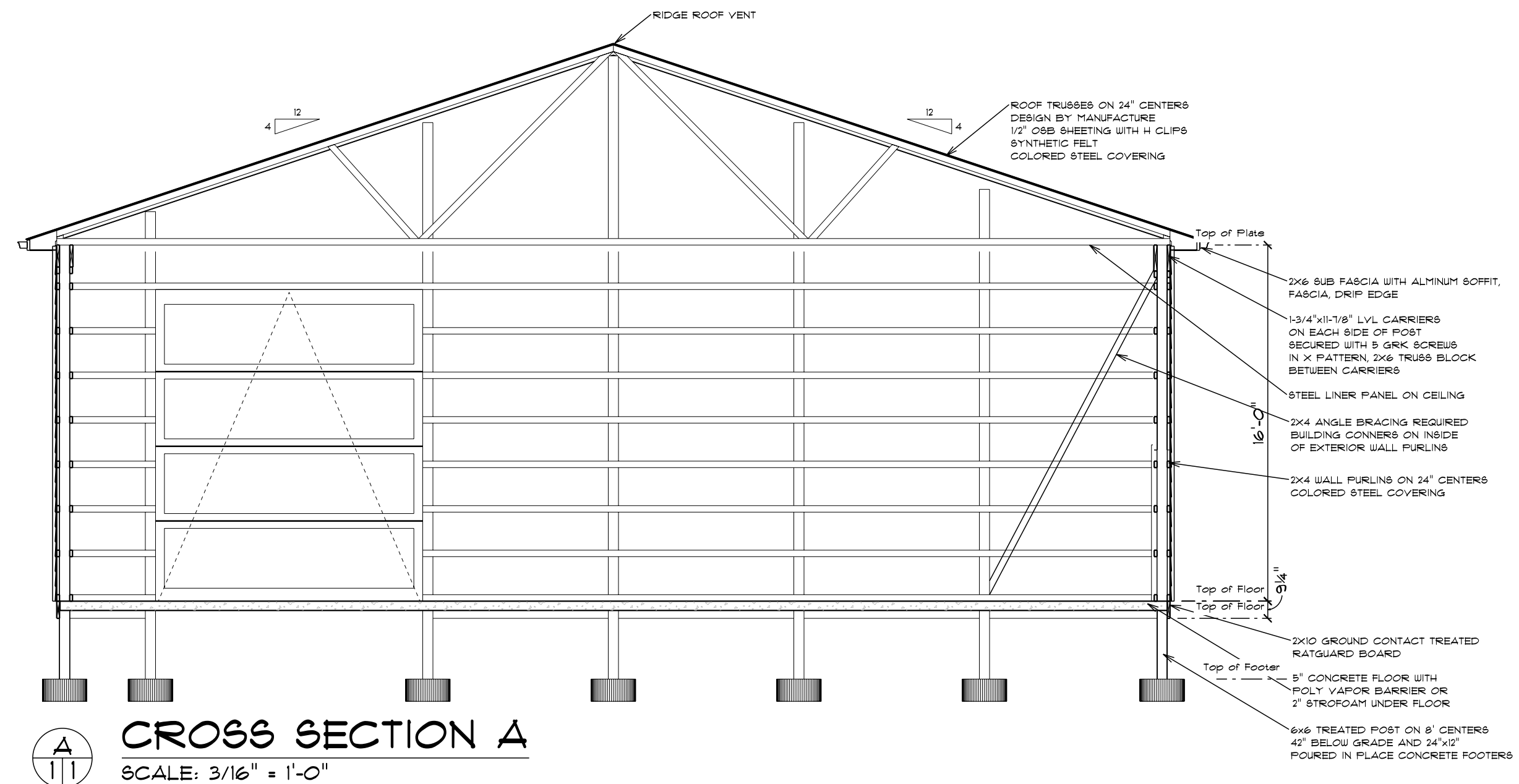
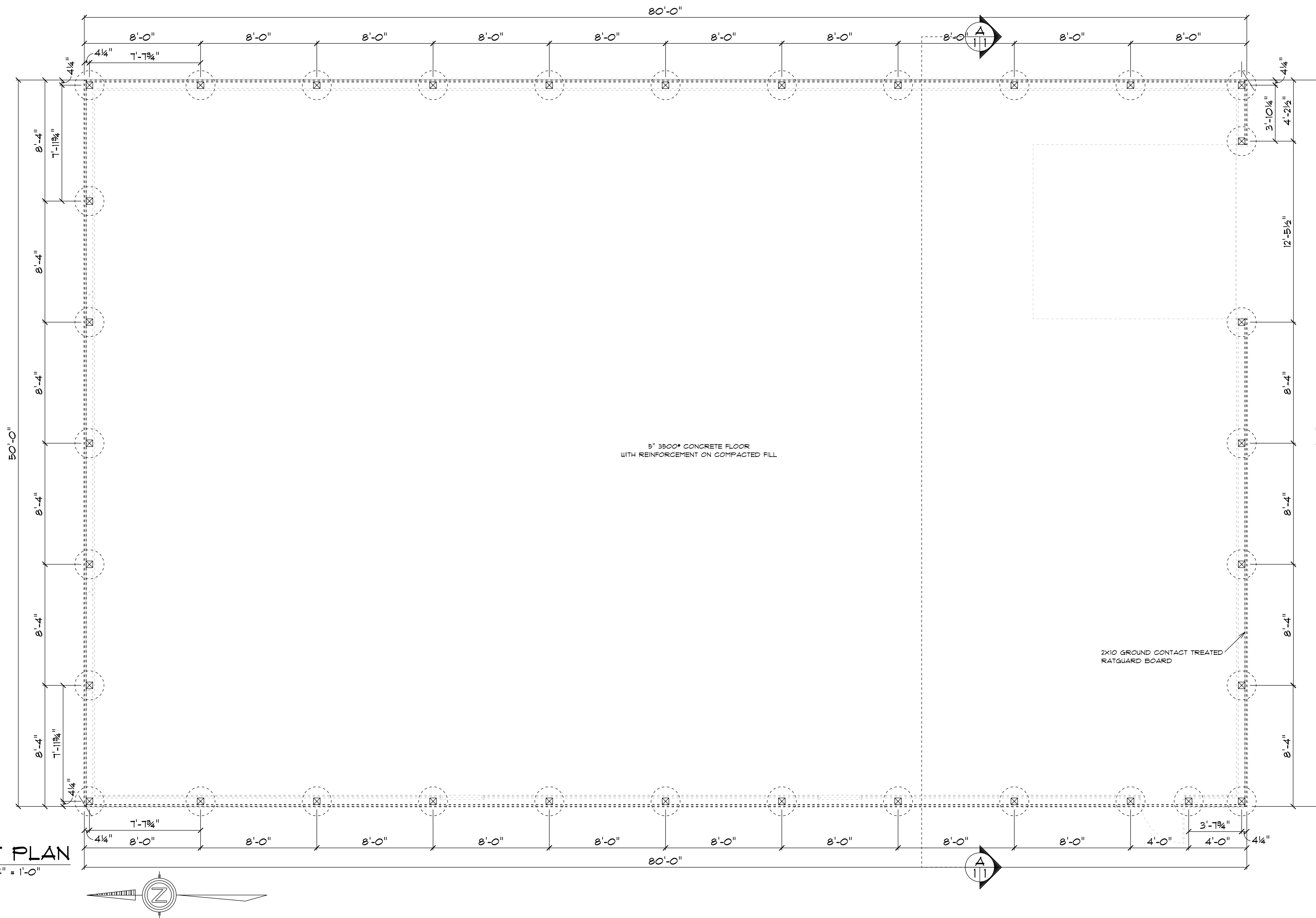
ROSLUND MR. LLC.
2180 E REMUS RD.
MT. PLEASANT, MI 48858
14-021-10-007-00

H & ERIN BANKS INVESTMENTS, LLC
P.O. BOX 492,
MT. PLEASANT, MI 48804-0492
14-150-00-018-00



SCALE	1" = 20'
JOB NUMBER:	2301-011
DRAWN BY:	BTM
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER	9 OF 12
SUBMITTALS:	SUBMITTAL TO UNION TOWNSHIP PLANNING 6-26-23
REVISIONS:	REVISIONS PER UNION TOWNSHIP PLANNING 9-11-23
	SUBMITTAL TO UNION TOWNSHIP PLANNING 8-29-23
	SUBMITTAL TO UNION TOWNSHIP PLANNING 9-21-23
	SUBMITTAL TO UNION TOWNSHIP PLANNING 10-3-23
	SUBMITTAL TO UNION TOWNSHIP PLANNING 10-9-23

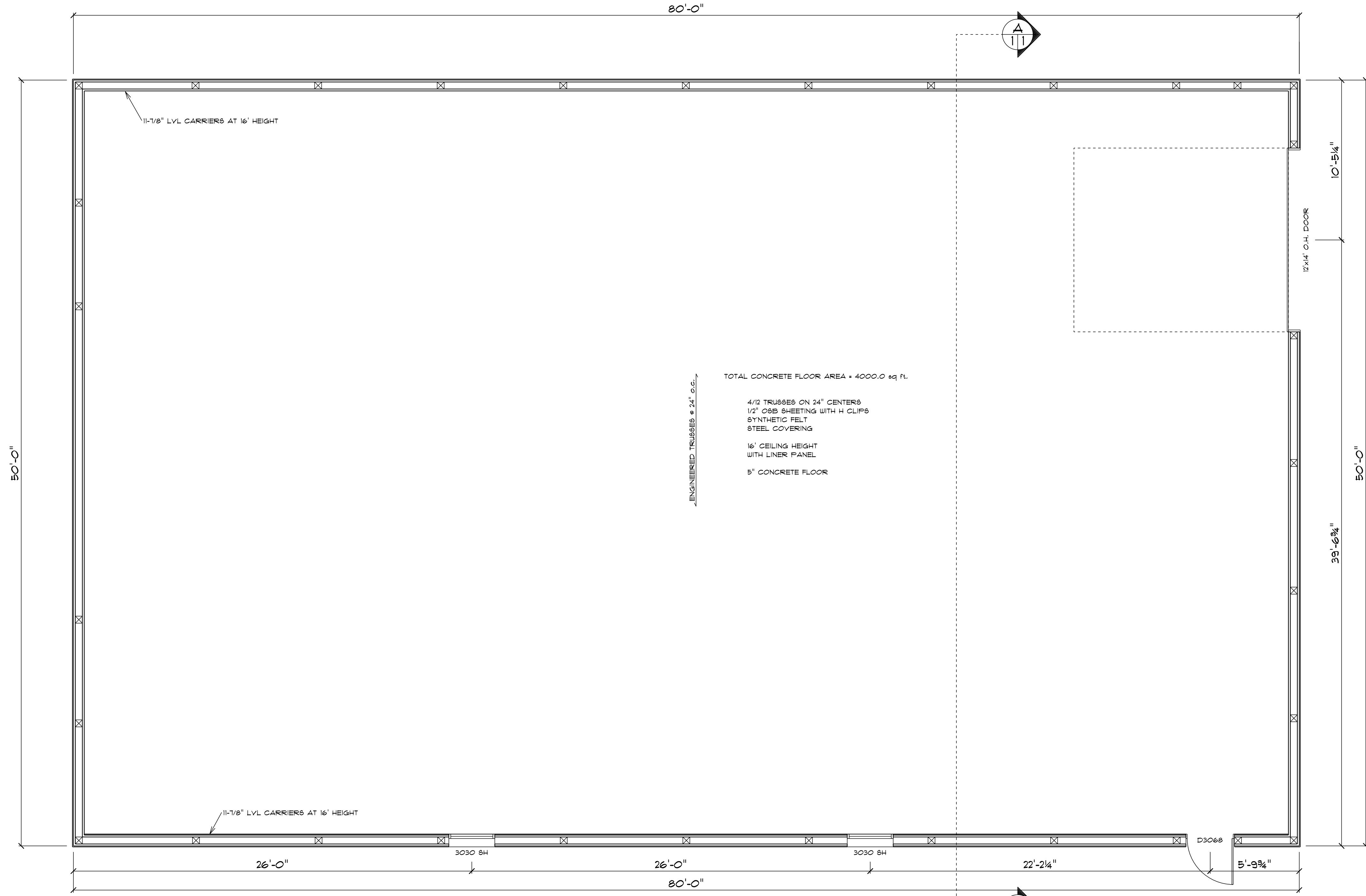
POST PLAN
SCALE: 1/4" = 1'-0"



CROSS SECTION A
SCALE: 3/16" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Gross Floor Area	4000.0 sq ft.

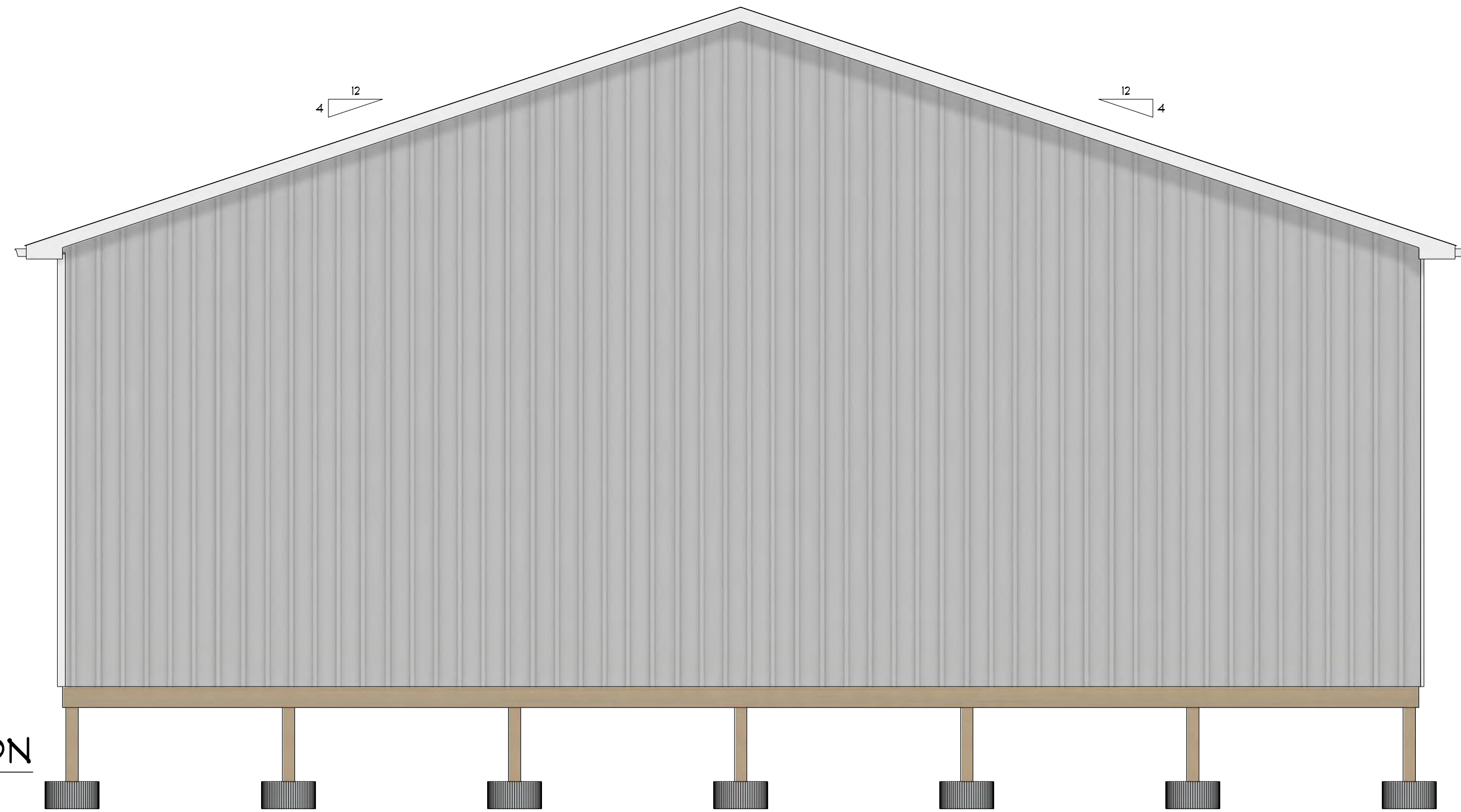
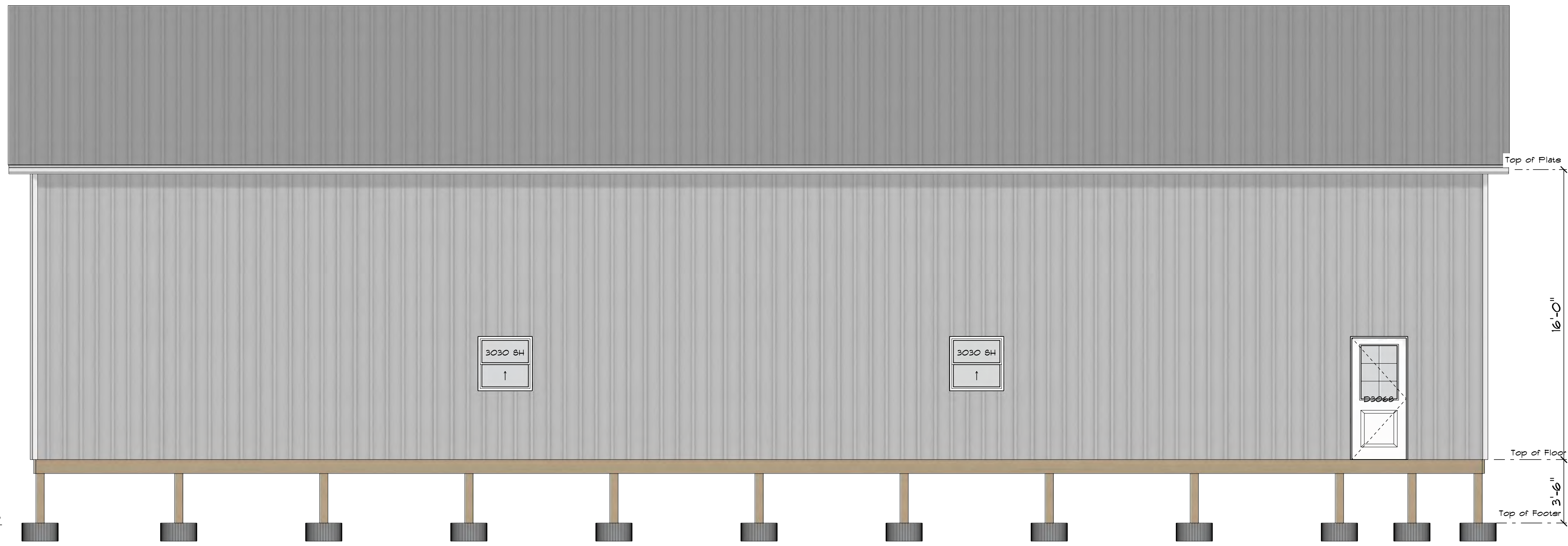
DRAWING SCHEDULE	
POST PLAN	1
MAIN FLOOR	2
ELEVATIONS	3



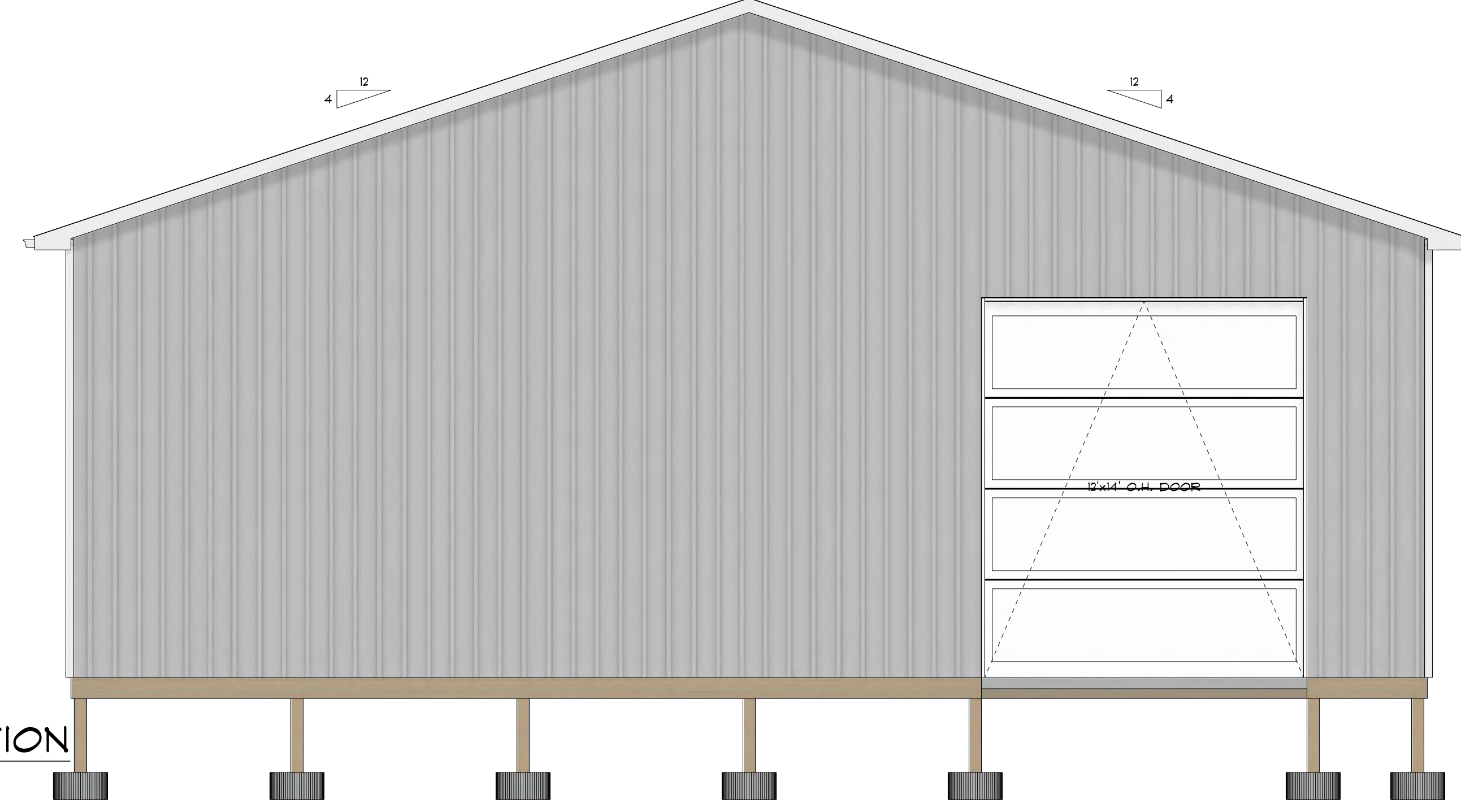
MAIN FLOOR
 SCALE: 1/4" = 1'-0"

ENGINEERED TRUSSES @ 24" O.C.
 TOTAL CONCRETE FLOOR AREA = 4000.0 sq ft.
 4/12 TRUSSES ON 24" CENTERS
 1/2" OSB SHEETING WITH H CLIPS
 SYNTHETIC FELT
 STEEL COVERING
 16' CEILING HEIGHT
 WITH LINER PANEL
 5" CONCRETE FLOOR

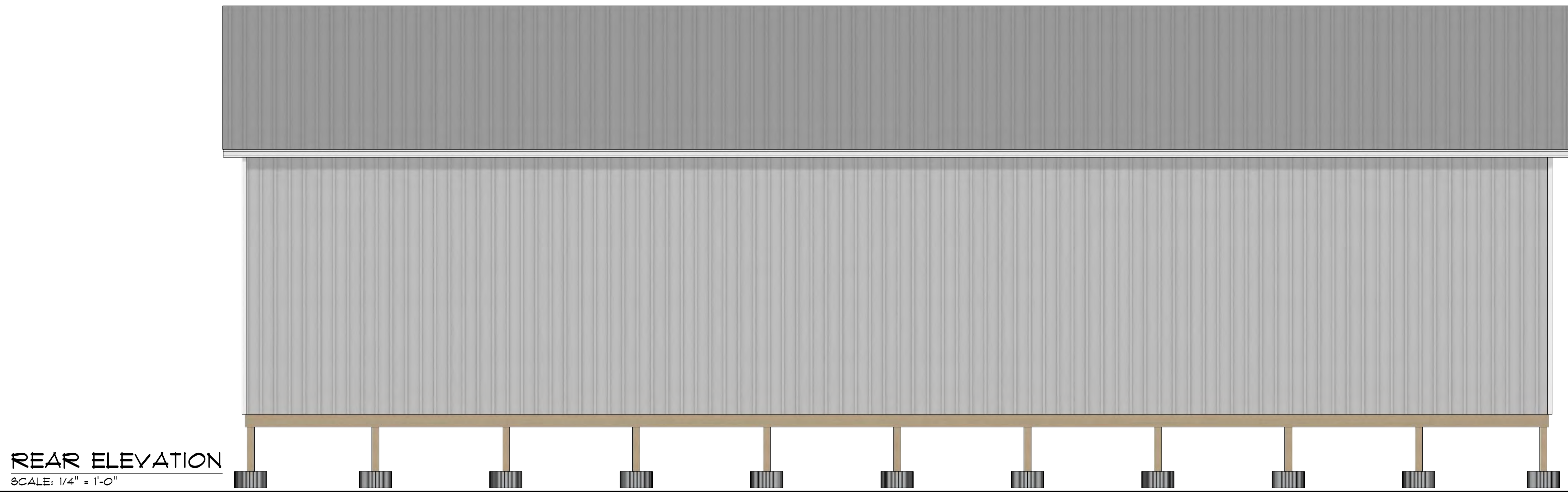
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Hall Banks 50x100 Building PHONE: 989-561-2100 EMAIL: blueprints@devittlumber.com TOTAL BUILDING sqft: 4000.0		PHONE: 989-561-2100 FAX: 989-561-5002 MOBILE: blueprints@devittlumber.com 726 Spring St. Blanchard MI 49310	SCALE: 1/4" = 1'-0" DRAWN BY: Lonnie Hagen DATE: Tuesday, October 3, 2023	SECTION LETTER: A PAGE NUMBERS: 11	APPROVED: _____ CHECKED BY: _____	PAGE: 3/3 ELEVATIONS
		DeWitt Lumber Co. PHONE: 989-561-2100 FAX: 989-561-5002 MOBILE: blueprints@devittlumber.com 726 Spring St. Blanchard MI 49310				

FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	November 13, 2023
FROM:	Peter Gallinat Zoning Administrator	ZONING:	B-5, Highway Business District
PROJECT:	PFINALSPR23-02 Final Site Plan approval– Proposed building addition and site improvements for indoor golf, archery range, office, and related storage		
PARCEL(S):	PID 14-021-10-007-01		
OWNER(S):	Hal Banks		
LOCATION:	Approx. 0.96 acres located at 2160 E. Remus Road. in the NW 1/4 of Section 21.		
EXISTING USE:	Vacant building, former gunsmith shop.	ADJACENT ZONING:	B-5, I-1
FUTURE LAND USE DESIGNATION:	<i>Commercial/Light Industrial:</i> This district is intended for a blend of medium intensity commercial and small-scale light industrial uses. Light industrial uses include but are not limited to small-scale manufacturing, laboratories, R&D (research and development) firms, information technology firms, or other businesses that might be found in a technology park.		
ACTION:	To review and act on the PFINALSPR23-02 final site plan dated 10/13/2023 for a 4,000 square-foot building addition for indoor golf, archery range, office, and related storage located at 2160 E. Remus Road in the NW 1/4 of Section 21 and in the B-5 (Highway Business) District.		

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals are required as part of a final site plan application.

Background Information

The site is an existing, legal nonconforming site developed prior to the current Zoning Ordinance. There is an existing structure that was previously used for a gunsmith shop. This project is for indoor recreation uses such as indoor golf, archery range, and office space with related storage. A preliminary site plan for this project was approved at the September 2023 Planning Commission meeting. Additionally, a grading permit was authorized by the Planning Commission at the October 2023 Planning Commission meeting based on the preliminary site plan approval, which permitted the contractor to do limited tree stump removal and site grading.

Standards for Alterations to a Nonconforming Site (Section 12.5)

The purpose of Section 12.5 is to encourage improvements to existing sites in the Township that were developed before the site design requirements of this Ordinance were established. This Section prioritizes required improvements to existing nonconforming sites, which may be improved or modified without a complete upgrade of all site elements subject to compliance the following conditions (listed below in bold with staff comments following):

- A. A nonconforming site shall not be improved or modified in a manner that increases its nonconformity.** The proposed improvements conform to this standard.
- B. The proposed site improvements shall address public health, safety, and welfare by resolving public safety deficiencies and pedestrian/vehicle conflicts and improving emergency access.** The site plan includes new barrier-free parking and pedestrian access, and improved access to the site for fire trucks in the event of an emergency.
- C. The site plan shall also include improvements in at least three (3) of the ten (10) broad categories listed in Section 12.5.C.** The proposed site plan more than satisfies this standard, with improvements in six (6) of the categories as noted below:
 - 2. Pedestrian access improvements.** The site is served by an existing public sidewalk and the project includes a 5-foot-wide sidewalk connector for pedestrian access.
 - 3. Vehicular access and circulation improvements.** The current gravel parking lot will be replaced with a hard-surface lot and internal two-way access drive.
 - 4. Building design or exterior facade improvements.** The existing building will be upgraded along with the newer building addition.
 - 5. Off-street parking or loading improvements.** The current site has no designated loading area or striped parking stalls. The plan adds both.
 - 8. Exterior lighting improvements.** The site plan adds nine (9) new down-shielded wall-pack fixtures to both the existing building and the building addition. A photometric plan will be required on the final site plan to verify compliance with Section 8.2.
 - 9. Drainage and stormwater management improvements.** There is no existing stormwater management for the site. This plan provides for these Stormwater improvements.

Final Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

- 1. Section 14.2.P. (Required Site Plan Information).** The site plan conforms to the minimum Section 14.2.P. information requirements for a final site plan, including detailed building elevations and a floor plan found on pages 10-12 of the plan. **CONFORMS**

2. **Section 8 (Environmental Performance Standards).** The hazardous substance reporting form and EGLE permit checklist form are in the application materials. **CONFORMS**
3. **Section 9 (Off-Street Parking, Loading Requirements).** The plan provides for a total of 15 parking spaces where only 10 spaces are required at a minimum. A loading area is provided on the east side of the building meeting the required 50-feet in length, 10 feet in width and 15 feet in clearance. The plan also provides for a 6.5-foot sidewalk extension and bike rack near the northeastern corner of the building that meets bicycle parking location distance requirements from adjacent walls, poles, landscaping, street furniture, drive aisles, primary pedestrian routes, primary pedestrian routes, and vehicle parking. The site plan on page 3 has been updated to show a 9-foot width for all parking spaces as required (although the standard ADA diagram on the details page shows the 8-foot minimum required for ADA parking, the site plan width will govern the site). The correct formula for professional office parking is shown on the plan. **CONFORMS**
4. **Section 7.10 (Sidewalks and Pathways).** The plan provides for a 5-foot-wide sidewalk connection from the existing sidewalk along E. Remus Road. There is a proposed 6.5-foot-wide interior sidewalk along the northern front of the building as well. **CONFORMS**
5. **Section 7.14 (Trash Removal and Collection).** The plan provides a 10-foot by 10-foot dumpster located in the rear yard on a concrete pad and approach, which will be enclosed with a fence consisting of metal siding to match the building addition. **CONFORMS**
6. **Section 10 (Landscaping and Screening).** The applicant has requested Planning Commission approval of a modification per Section 10.7 (Modifications to Landscaping Requirements) to use existing vegetation to satisfy applicable landscaping requirements (see notes and details on page 5 of the site plan). The existing site provides the unique characteristic in that there is already landscaping present that is matured. This is a benefit that provides mature plant life versus new plantings that take time to mature. In addition, per the provisions of Section 12.5 (Nonconforming Sites), additional landscaping is not necessary for this project. Staff would have no objection to Planning Commission approval of the final landscape plan as presented, finding the requested modification to be consistent with Section 10.7. **CONFORMS**
7. **Section 8.2 (Exterior Lighting).** The updated and corrected lighting plan on page 9 provides for nine (9) wall pack lights on the expanded building that are down shielded, with maximum illumination levels consistent with Section 8.2 standards. **CONFORMS**
8. **Outside agency approvals.** The Township has received approval from the Mt. Pleasant Fire Department, Michigan Department of Transportation for the sidewalk connection, Township Public Services, Isabella County Transportation Commission, and Gourdie-Fraser for the stormwater management improvements. **CONFORMS**

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

- The plan and proposed scope of site and building improvements meet or exceed the requirements of Section 12.5 that apply to alterations to a nonconforming site.
- All outside agency approvals have been received.
- The plan conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval) for a final site plan.

Recommendations

Based on the above findings, I recommend approval of the PFINAL23-02 final site plan application dated October 13, 2023.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

Draft Motions: PFINALSPR 23-02 Final Site Plan Application from Hal Banks for a Proposed Building Addition at 2160 E. Remus Rd. for Indoor Golf, Archery, Office Space, and Related Storage.

MOTION TO APPROVE THE FINAL SITE PLAN:

Motion by _____, supported by _____, to approve the PFINALSPR23-02 final site plan dated October 13, 2023 for a 4,000 square-foot building addition for indoor golf, archery range, office, and related storage located at 2160 East Remus Road in the northwest quarter of Section 21 and in the B-5 (Highway Business District) zoning district, finding that it fully complies with applicable Zoning Ordinance requirements for final site plan approval, including Sections 12.5 (Nonconforming Sites), 14.2.P. (Required Site Plan information), and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE THE FINAL SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PFINALSPR23-02 final site plan dated October 13, 2023 for a 4,000 square-foot building addition for indoor golf, archery range, office, and related storage located at 2160 East Remus Road in the northwest quarter of Section 21 and in the B-5 (Highway Business District) zoning district, finding that it can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 12.5 (Nonconforming Sites), 14.2.P. (Required Site Plan information), and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

MOTION TO POSTPONE ACTION ON THE FINAL SITE PLAN:

Motion by _____, supported by _____, to postpone action on the PFINALSPR23-02 final site plan dated October 13, 2023 for a 4,000 square-foot building addition for indoor golf, archery range, office, and related storage located at 2160 East Remus Road until _____, 20__ for the following reasons:

MOTION TO DENY THE FINAL SITE PLAN:

Motion by _____, supported by _____, to deny the PFINALSPR23-02 final site plan dated October 13, 2023 for a 4,000 square-foot building addition for indoor golf, archery range, office, and related storage located at 2160 East Remus Road in the northwest quarter of Section 21 and in the B-5 (Highway Business District) zoning district, finding that it does not comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 12.5 (Nonconforming Sites), 14.2.P. (Required Site Plan information), and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

 Minor Site Plan

 Preliminary Site Plan

 Final Site Plan

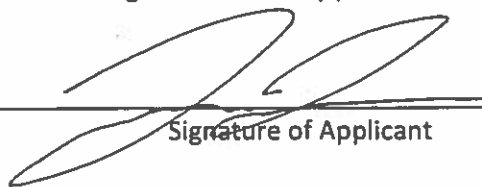
A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project <u>Walmart Building Expansion</u>	
Common Description of Property & Address (if issued) <u>4730 Encore Blvd, Mount Pleasant, MI 48858</u>	
Applicant's Name(s) <u>Jared Hutchison</u>	
Phone/Fax numbers <u>901-384-0404</u>	Email <u>jaredhutchison@carlsonconsulting.net</u>
Address <u>7068 Ledgestone Commons</u>	City: <u>Bartlett, TN</u> Zip: <u>38133</u>

Legal Description: <input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s): <u>14-026-30-001-06</u>
Existing Zoning: <u>B-5</u>	Land Acreage: <u>20.4</u>	Existing Use(s): <u>Retail Sales</u>
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.5. (Standards for Site Plan Approval)		

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: <u>Jared Hutchison</u> Phone: <u>901-384-0404</u> Email: <u>jaredhutchison@carlsonconsulting.net</u> 2. Address: <u>7068 Ledgestone Commons</u> City: <u>Bartlett</u> State: <u>TN</u> Zip: <u>38133</u> Contact Person: _____ Phone: _____
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: <u>Walmart Real Estate Business Trust</u> Phone: <u>479-204-3314</u> Address: <u>Mail Stop 0505; 7020 SW 8th St.</u> City: <u>Bentonville</u> State: <u>AR</u> Zip: <u>72716</u> *See attached email thread Signature: _____ Interest in Property: <u>owner/lessee/other</u> 2. Name: _____ Phone: _____ Address: _____ City: _____ State: <u>MI</u> Zip: _____ Signature: _____ Interest in Property: <u>owner/lessee/other</u>

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



Signature of Applicant

10/30/2023

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.



SITE PLAN APPLICATION DETAILS

TO: CHARTER TOWNSHIP OF UNION

FROM: JARED HUTCHISON

RE: WALMART #1428
4730 ENCORE BLVD
MOUNT PLEASANT, MI

DATE: OCTOBER 27, 2023

To whom it may concern,

As requested for the above referenced project located in Mount Pleasant, MI. The legal description is as follows:

Part of the Southwest one-quarter of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Beginning South 87 degrees 14 minutes 35 seconds East along the East-West one-quarter line, 1568.51 feet and South 02 degrees 24 minutes 38 seconds West 351.25 feet from the West one-quarter corner of said Section 26; thence continuing South 02 degrees 24 minutes 38 seconds West 921.02 feet; thence South 87 degrees 24 minutes 52 seconds East 978.18 feet; thence North 02 degrees 35 minutes 08 seconds East 921.00 feet; thence North 87 degrees 24 minutes 52 seconds West 980.99 feet back to the place of beginning.

Standards for Site Plan Approval:

Carlson Consulting Engineers is a legally authorized consultant licensed to complete the proposed work for the above listed project in Mount Pleasant, MI. The proposed development is a building expansion and restriping project. As a requirement of Charter Township of Union, additional work has been implemented to improve public safety deficiencies at both entrances into the site and along the outer circulatory road. The development will increase the amount of pervious area to the overall site. Any unsuitable soils encountered during development will be removed and replaced with



approved subgrade materials. Vehicular and pedestrian safety will be improved as a part of this project by adding signage, sidewalks, and curb work.

If you have any questions, please do not hesitate to contact me at (901) 384-0404 or write to jaredhutchison@carlsonconsulting.net.

Sincerely,

A handwritten signature in black ink, appearing to read "Jared Hutchison", written in a cursive style.

Jared Hutchison
Carlson Consulting Engineers, Inc.

Jared Hutchison

From: Hazem Hassan <Hazem.Hassan@walmart.com>
Sent: Monday, October 30, 2023 11:24 AM
To: Jared Hutchison
Subject: RE: Site Plan Approval Application - Mount Pleasant, MI - 1428-275

Jared,
CARLSON CONSULTING ENGINEERS team have full authorization to work on this project on behalf of Walmart.

Respectfully,
Hazem Hassan
Senior Project Manager
North PMO
Phone: 479-321-2183
Hazem.hassan@Walmart.com
2608 SE J St,
Bentonville, AR 72716-0550
Save money. Live better.

From: Jared Hutchison <jaredhutchison@carlsonconsulting.net>
Sent: Monday, October 30, 2023 8:16 AM
To: Hazem Hassan <Hazem.Hassan@walmart.com>
Subject: EXT: RE: Site Plan Approval Application - Mount Pleasant, MI - 1428-275

EXTERNAL: Report suspicious emails to **Email Abuse**.

Hazem,

Please disregard the last email. If you could just reply to this email saying that we have full authorization to work on this project on the behalf of Walmart that would be sufficient. Sorry for the confusion here.

Thank you,
Jared Hutchison
Carlson Consulting Engineers, Inc.
7068 Ledgestone Commons | Bartlett, TN 38133
Ph. 901.384.0404 | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Jared Hutchison
Sent: Friday, October 27, 2023 5:21 PM
To: 'Hazem Hassan' <Hazem.Hassan@walmart.com>
Subject: Site Plan Approval Application - Mount Pleasant, MI - 1428-275
Importance: High

Good evening,

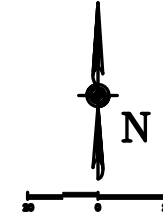
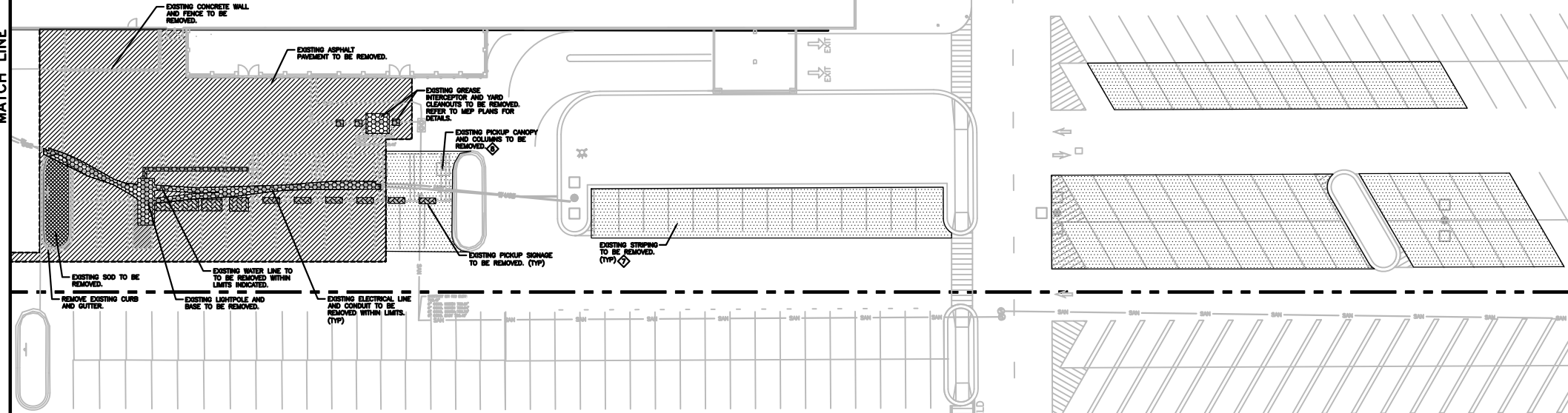
We are needing some information for this site. "Wal-Mart Real Estate Business Trust, a Delaware statutory trust", is listed as the owner. We need the following to put in the application:

- Name of person or persons having a legal interest in the property, their phone number and address
- Address and phone number for "Wal-Mart Real Estate Business Trust, a Delaware statutory trust"

WALMART SUPERCENTER #01428-275

204,171± S.F. (EX.)
6,672± S.F. (PROP.)
F.F.E=798.50±

MATCH LINE

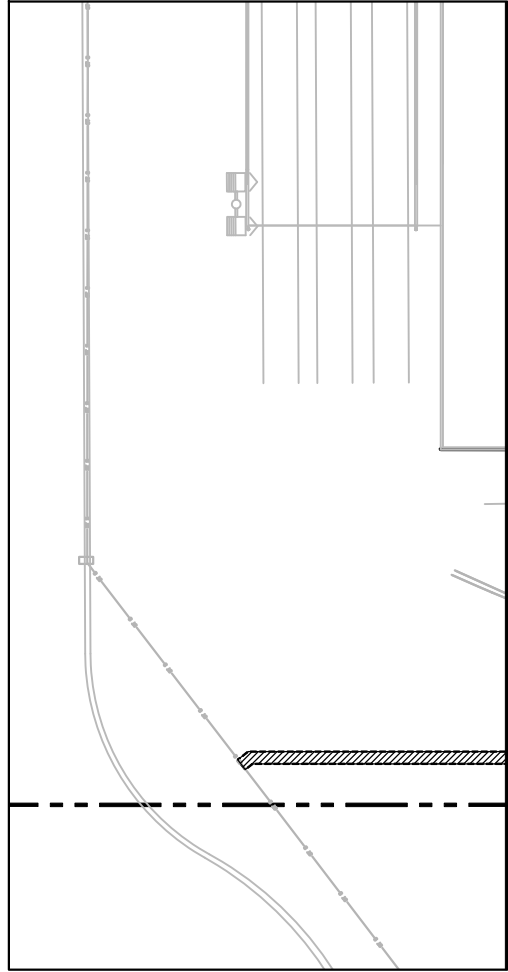


- EXISTING SIGNAGE TO BE REMOVED FROM THE SITE
- EXISTING STRIPING TO BE REMOVED
- EXISTING UTILITIES AND APPURTENANCES TO BE REMOVED
- EXISTING PAVEMENT, CONCRETE, CURB AND GUTTER TO BE REMOVED
- EXISTING SOIL AND VEGETATION WITHIN CURBED ISLAND TO BE REMOVED
- APPROXIMATE SAWCUT LINE

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBS, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIR, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CED AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CED AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEO, ETC. AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

- NOTES**
- ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS" WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ACCEPTANCE BY OWNER AND THE FINAL CERTIFICATION OF SERVICES.
 - CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND CONSTRUCTION AREA AND CONTRACTOR'S TEMPORARY PARKING AND STORAGE AREA DURING CONSTRUCTION.
 - CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. BEYOND THE PROTECTED WORK AREAS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN THE PROXIMITY OF THE EXISTING STORE WITH THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO WALMART STORE'S OPERATION AND WALMART CUSTOMERS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC, MAINTAIN SAFE CONSTRUCTION CONDITIONS, AND PROVIDE ADEQUATE TRAFFIC FLOW AT ALL TIMES. TEMPORARY TRAFFIC CONTROL DEVICES, SUCH AS SIGNAGE, STRIPING, FENCING, BARRICADES, ENCLOSURES, BARRIERS, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED BY THE WALMART CONSTRUCTION MANAGER. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN THEIR PROPER POSITION AT ALL TIMES, AND SHALL BE REPAIRED, REPLACED OR CLEANED AS NECESSARY. ALL CONSTRUCTION WARNING SIGNS SHALL BE PROMPTLY REMOVED OR COVERED WHENEVER THE MESSAGE IS NOT APPLICABLE OR NOT IN USE. EXISTING TRAFFIC ARROWS, PAINTED END CAPS, STOP BARS AND OTHER PAVEMENT MARKINGS THAT CONFLICT WITH TEMPORARY TRAFFIC CONTROL PAVEMENT MARKINGS AND TRAFFIC PATTERNS SHALL BE BEAD BLASTED.
 - CONTRACTOR SHALL PROVIDE BMP'S SUCH AS EROSION SILLS, INLET FILTER SACKS, SILT DICS OR PAVEMENT, ETC., DURING ANY OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
 - ALL PAVEMENT MARKINGS SHOWN TO BE REMOVED OR ANY MARKINGS THAT CONFLICT WITH IMPROVEMENTS ARE TO BE REMOVED AS PART OF THE PICKUP PROJECT. CONTRACTOR SHALL REMOVE EXISTING PAVEMENT MARKINGS BY SODA BLASTING OR DUSTLESS BLASTING.
 - ALL SIGNS IN DEMOLITION AREAS TO BE REMOVED.



MATCH LINE



VICINITY MAP

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE EXISTING STORM SEWER SYSTEM FREE OF SEDIMENT AND DEBRIS AS ALL TIMES UNTIL THE SITE IS STABILIZED. USE APPROPRIATE BMP'S TO PROTECT STORMWATER INLETS.



STIPULATION FOR REUSE
THIS DOCUMENT IS THE PROPERTY OF CARLSON ENGINEERS INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CARLSON ENGINEERS INC.

CONSULTANTS
CARLSON ENGINEERS INC.
ENGINEERS
10000 WOODBURY DRIVE
DOWNSVIEW, ONTARIO M3J 2K6
CANADA
TEL: 905.881.1111
WWW.CARLSONENGINEERS.COM

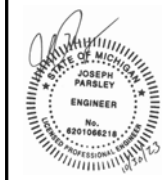
Walmart
MOUNT PLEASANT, MICHIGAN
STORE NO. 01428-275

ISSUE BLOCK

NO.	DESCRIPTION	DATE

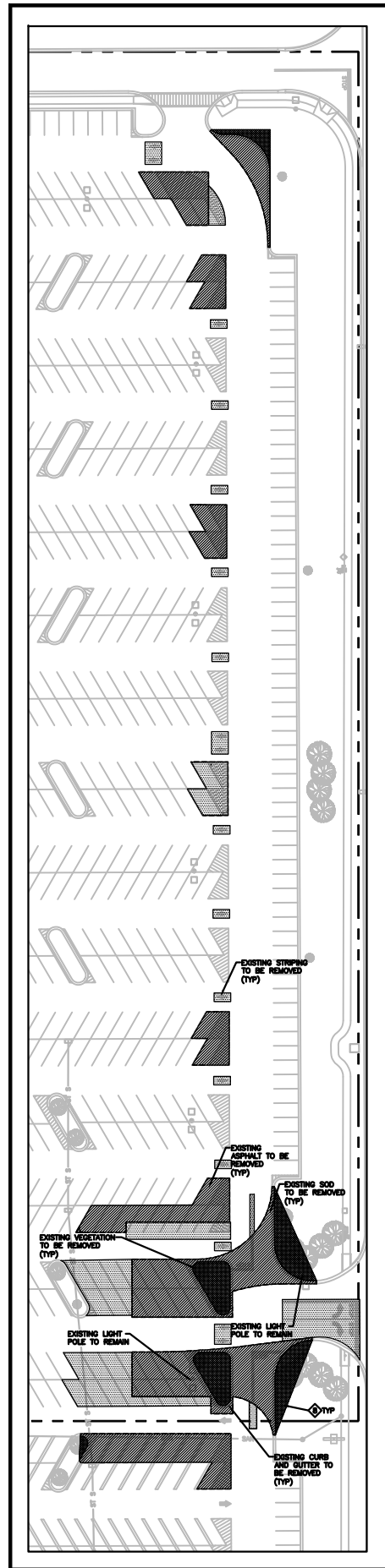
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DEMOLITION PLAN

SHEET: C1.0



EAST CONSTRUCTION PLAN
NOT TO SCALE



- EXISTING SIGNAGE TO BE REMOVED FROM THE SITE
- EXISTING STRIPING TO BE REMOVED
- EXISTING UTILITIES AND APPURTENANCES TO BE REMOVED
- EXISTING PAVEMENT, CONCRETE, CURB AND GUTTER TO BE REMOVED
- EXISTING SOIL AND VEGETATION WITHIN CURBED ISLAND TO BE REMOVED
- APPROXIMATE SAWCUT LINE

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBS, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CED AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CED AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEO, ETC. AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

- NOTES:**
1. ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS", WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 2. ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ACCEPTANCE BY OWNER AND THE FINAL CERTIFICATION OF SERVICES.
 3. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND CONSTRUCTION AREA AND CONTRACTOR'S TEMPORARY PARKING AND STORAGE AREA DURING CONSTRUCTION.
 4. CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. BEYOND THE PROTECTED WORK AREAS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN THE PROXIMITY OF THE EXISTING STORE WITH THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO WALMART STORE'S OPERATION AND WALMART CUSTOMERS.
 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC, MAINTAIN SAFE CONSTRUCTION CONDITIONS, AND PROVIDE ADEQUATE TRAFFIC FLOW AT ALL TIMES. TEMPORARY TRAFFIC CONTROL DEVICES, SUCH AS SIGNAGE, STRIPING, FENCING, BARRICADES, ENCLOSURES, BARRIERS, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED BY THE WALMART CONSTRUCTION MANAGER. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN THEIR PROPER POSITION AT ALL TIMES, AND SHALL BE REPAIRED, REPLACED OR CLEANED AS NECESSARY. ALL CONSTRUCTION WARNING SIGNS SHALL BE PROMPTLY REMOVED OR COVERED WHENEVER THE MESSAGE IS NOT APPLICABLE OR NOT IN USE. EXISTING TRAFFIC ARROWS, PAINTED END CAPS, STOP BARS AND OTHER PAVEMENT MARKINGS THAT CONFLICT WITH TEMPORARY TRAFFIC CONTROL PAVEMENT MARKINGS AND TRAFFIC PATTERNS SHALL BE BEAD BLASTED.
 6. CONTRACTOR SHALL PROVIDE BMP'S SUCH AS, EROSION BILLS, INLET FILTER SOCKS, SILT DICE OR PAVEMENT, ETC., DURING ANY OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
 7. ALL PAVEMENT MARKINGS SHOWN TO BE REMOVED OR ANY MARKINGS THAT CONFLICT WITH IMPROVEMENTS ARE TO BE REMOVED AS PART OF THE PICKUP PROJECT. CONTRACTOR SHALL REMOVE EXISTING PAVEMENT MARKINGS BY SODA BLASTING OR DUSTLESS BLASTING.
 8. ALL SIGNS IN DEMOLITION AREAS TO BE REMOVED.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE EXISTING STORM SEWER SYSTEM FREE OF OBSTRUCTION AND DEBRIS AS ALL TIMES UNTIL THE SITE IS STABILIZED. USE APPROPRIATE BMP'S TO PROTECT STORMWATER INLETS.



STIPULATION FOR REUSE
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Walmart
MOUNT PLEASANT, MICHIGAN
STORE NO. 01428-275

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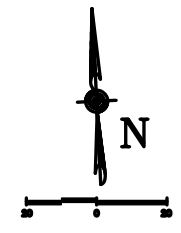
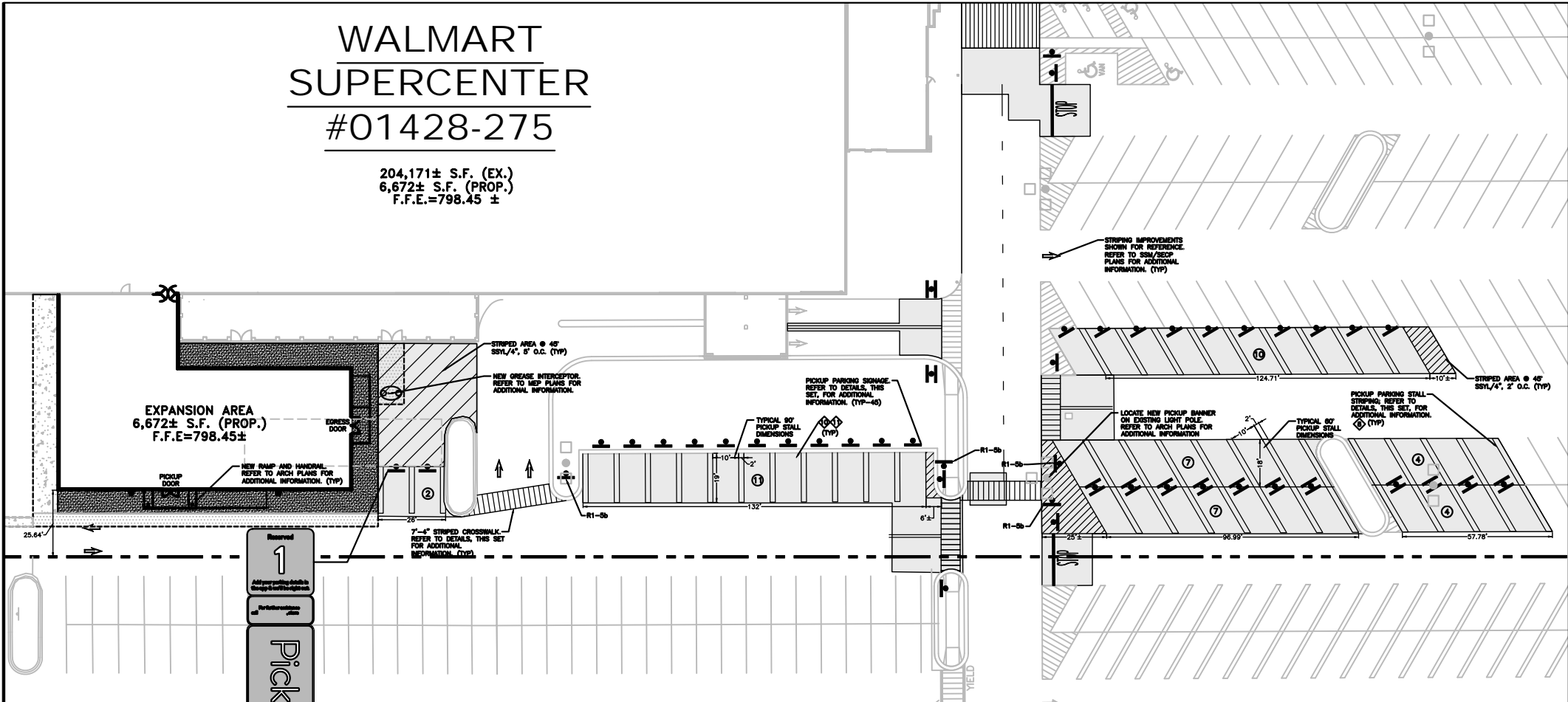
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WALMART SUPERCENTER #01428-275

204,171± S.F. (EX.)
6,672± S.F. (PROP.)
F.F.E.=798.45 ±

MATCH LINE



LEGEND

- STRIPED AREA
- SEAL COAT
- ARCHITECTURAL CONCRETE
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE
- SAWCUT LINE
- NEW SIGN AND BASE
- SINGLE SOLID YELLOW LINE

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
RESERVED	18" X 18"	45
PHONE NUMBER	8" X 18"	45
VERTICAL PICKUP	18" X 36"	45
PICKUP BANNER AND MOUNTING HARDWARE	24" X 60"	1

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADSIDE AND INFRASTRUCTURE UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBS, PAVEMENT, LANDSCAPING, SIGNAGE SYSTEMS, FENCES, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE DAMAGED ITEM PRIOR TO MAKING ANY REPAIRS. THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CED AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CED AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

NOTICE TO CONTRACTOR

STOP SIGNS MUST BE LOCATED A MINIMUM OF 4' OFF THE DRIVE ASLE AND 4' OFF THE BUILDING FRONTAGE ROAD. PEDESTRIAN CROSSING SIGNS MUST BE A MINIMUM OF 7' OFF THE DRIVE ASLE AND 4' OFF THE BUILDING FRONTAGE ROAD. THIS SHALL BE MEASURED FROM THE FACE OF CURB OR THE EDGE OF THE STRIPED ISLAND. REFER TO DETAILS FOR ADDITIONAL INFORMATION. SIGNS NOT INSTALLED IN THE PROPER LOCATIONS WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.



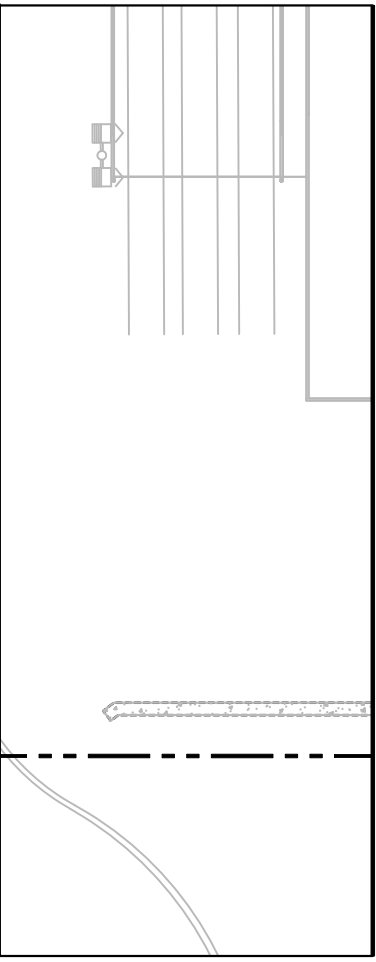
TYP. OF 45

PARKING INFORMATION					
WALMART BUILDING INFO	PARKING REQUIRED	TOTAL PARKING PROVIDED	ADA PARKING REQUIRED	ADA PARKING PROVIDED	TOTAL PARKING RATIO
WALMART BUILDING SQ.FT.	SPACES	SPACES ¹	SPACES	SPACES	SPACES ²
EXISTING 204,171 SF ¹	624 SPACES ⁴ 1/275 USF(171,444)	1,040 SPACES ²	21 SPACES	27 SPACES	5.08/1,000 SF
PROPOSED 210,843 SF ¹	648 SPACES ⁴ 1/275 USF(178,116)	956 SPACES	20 SPACES	27 SPACES	4.53/1,000 SF

- PARKING INFORMATION NOTES**
- AREA INDICATED IS GROSS BUILDING AREA AS FOUND IN LUCERNEX AND AS PROVIDED BY THE ARCHITECT OF RECORD.
 - EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS PROVIDED BY OTHERS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.
 - 18 PARKING SPACES OCCUPIED BY CHIT CORTALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.
 - REQUIRED PARKING BASED ON "USABLE FLOOR AREA" AS DEFINED BY THE LOCAL ZONING ORDINANCE. (PROVIDED BY ADA).



VICINITY MAP

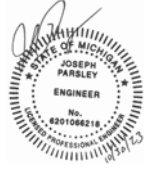


MATCH LINE

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE EXISTING STORM SEWER SYSTEM FREE OF SEDIMENT AND DEBRIS AT ALL TIMES UNTIL THE SITE IS STABILIZED. USE APPROPRIATE SHIPS TO PROTECT STORMWATER INLETS.

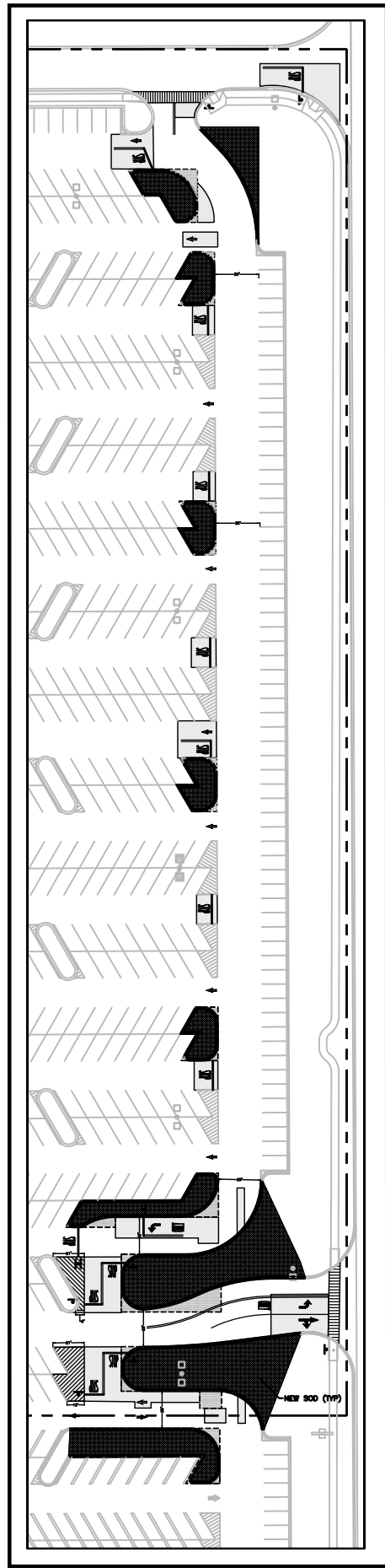
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 - CONTRACTOR SHALL PROVIDE BMP'S SUCH AS EROSION BELLS, INLET FILTER BAGS, SILT DIKE ON PAVING, ETC. DISCONTINUED IF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
 - UNLESS NOTED OTHERWISE STRIPING DIMENSIONS SHOWN ARE TO THE CENTER OF THE STRIPE.
 - ALL NEW STRIPING SHALL BE PAINTED (TWO COATS) AS PER THE SPECIFICATIONS. UTILIZE TEMPLATES FOR ALL PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERS.
 - ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO CITY THOMAS (City.Thomas@walmart.com) AND BIDDY REEDER (Biddy.Reeder@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.
 - ALL EXISTING PAVEMENT MARKINGS WITHIN SEAL COATED AREA TO BE REMOVED. CONTRACTOR SHALL REMOVE EXISTING PAVEMENT MARKINGS BY SODA BLASTING OR DUSTLESS BLASTING.
 - CONTRACTOR SHALL SEALCOAT ENTIRE AREA TO RECEIVE NEW STRIPING AND ENTIRE AREA WHERE STRIPING IS TO BE REMOVED PRIOR TO INSTALLING NEW STRIPING SHOWN ON THESE PLANS. CONTRACTOR SHALL COMPLETE ALL SITE IMPROVEMENTS THAT REQUIRE MODIFICATIONS TO EXISTING PAVEMENT AREAS, INCLUDING REMOVAL OF ANY EXISTING STRIPING, PRIOR TO ASPHALT SEAL COAT APPLICATION. CONTRACTOR SHALL ALLOW ASPHALT SEAL COAT ADEQUATE CURE TIME, IN ACCORDANCE WITH SITE SPECIFICATIONS, PRIOR TO OPENING AFFECTED AREAS TO TRAFFIC OR PERFORMING ANY STRIPING ACTIVITIES.
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 - EXISTING "PICKUP" GRAPHIC TO BE REMOVED FROM EXISTING PICKUP PARKING STALLS.
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 - REFER TO SDP AND SSM PLANS, THIS SET, FOR INFORMATION REGARDING SITE STRIPING AND SIGNAGE WORK NOT DETAILED ON THIS SHEET.
 - CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, AS SHOWN, TO ALLOW FOR A CLEAN STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.

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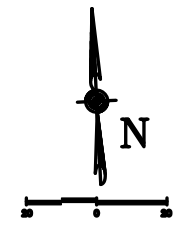
PICKUP STRIPING AND SIGNAGE SITE PLAN

SHEET: C2.0



EAST CONSTRUCTION PLAN
NOT TO SCALE

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LEGEND

- STRIPED AREA
- SEAL COAT
- ARCHITECTURAL CONCRETE
- ASPHALT PAVEMENT
- SOD
- SAWCUT LINE
- NEW SIGN AND BASE
- SINGLE SOLID YELLOW LINE

PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
RESERVED	16" X 16"	45
PHONE NUMBER	8" X 16"	45
VERTICAL PICKUP	16" X 36"	45
PICKUP BANNER AND MOUNTING HARDWARE	24" X 60"	1

NOTICE TO CONTRACTOR
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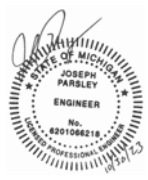
Walmart
MOUNT PLEASANT, MICHIGAN
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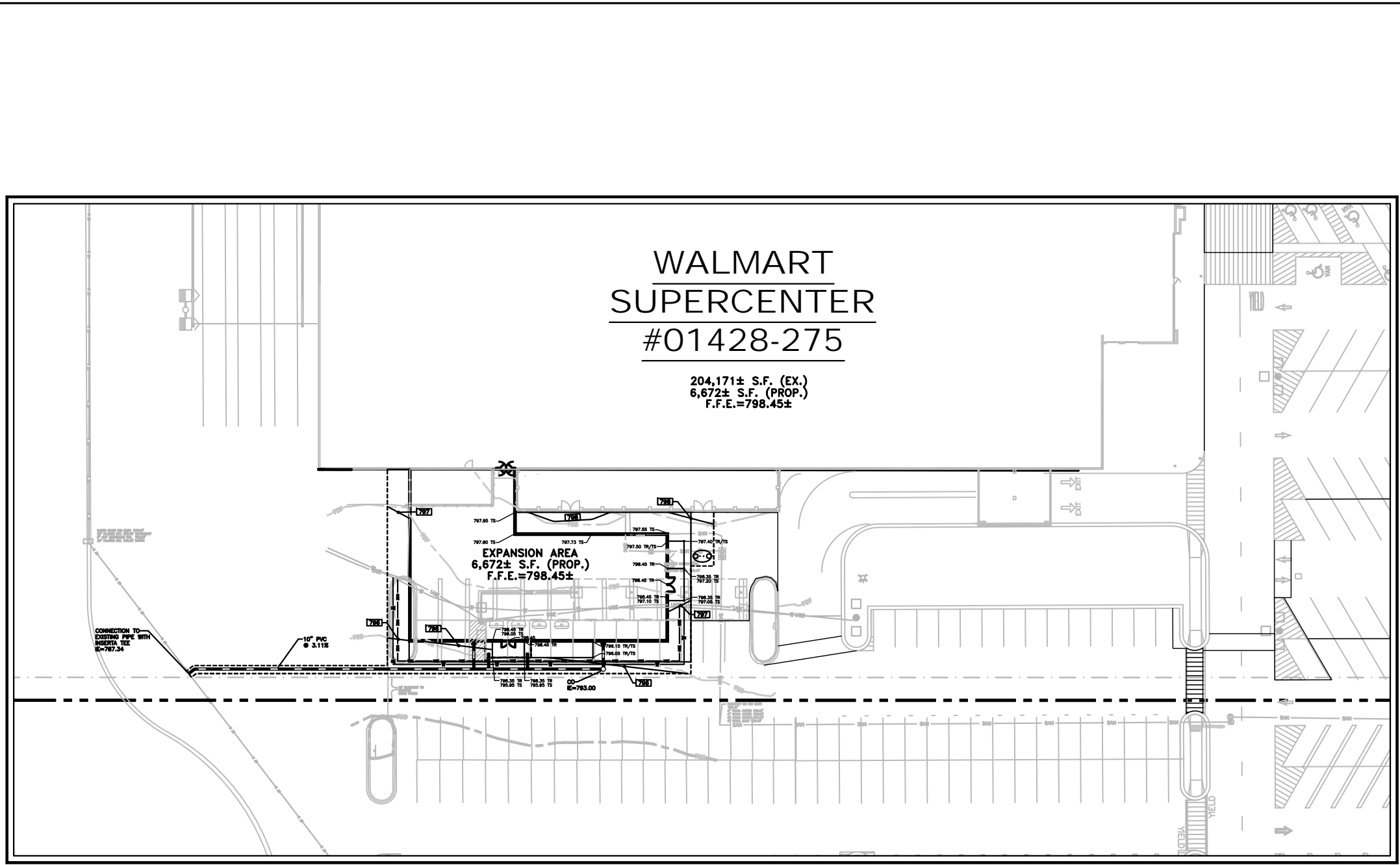
ISSUE BLOCK

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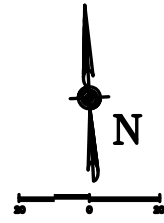




WALMART SUPERCENTER #01428-275

204,171± S.F. (EX.)
6,672± S.F. (PROP.)
F.F.E.=798.45±

EXPANSION AREA
6,672± S.F. (PROP.)
F.F.E.=798.45±



LEGEND

- SAWCUT LINE
- xxx.xx --- SPOT ELEVATION
- TS --- TOP OF PAVEMENT
- TS --- TOP OF SIDEWALK
- TC --- TOP OF CURB
- TR --- TOP OF RAMP
- STORM SEWER
- CLEANOUT
- (E31) --- PROPOSED CONTOUR MINOR
- (E31) --- PROPOSED CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: DRIVEWAYS, SIDEWALKS, CURBS, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC UTILITY LINES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CED AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CED AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

- NOTES:**
1. ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS". WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE CONTRACTOR SHALL CONSULT WITH THE WALMART CONSTRUCTION MANAGER.
 2. ELEVATION OF NEW EDGE OF PAVEMENT/CONCRETE TO MATCH ADJACENT PAVEMENT ELEVATION.
 3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS IMPACTED BY CONSTRUCTION.
 4. ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ACCEPTANCE BY OWNER AND THE FINAL VERIFICATION OF SERVICES.
 5. CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, AS SHOWN, TO ALLOW FOR A CLEAN STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
 6. CONTRACTOR SHALL PROVIDE BMP'S SUCH AS EROSION EELS, INLET FILTER SOCKS, SILT DIKE ON PAVEMENT, ETC. DOWNGRADIENT OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
 7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED CONSTRUCTION ACTIVITIES. EXISTING UTILITIES SHALL BE RECORDED OR LOCATED IN PLACE BY THE CONTRACTOR TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PROJECT.
 8. FINAL PAVEMENT ELEVATIONS SHALL BE CONSTRUCTED FLUSH WITH EXISTING TOPS OF MANHOLES, CLEANOUTS, UTILITY METER VAULTS, VALVES, GREASE/OIL TRAPS, FULL BOXES, INLETS, ETC. STRUCTURE TOPS SHALL BE ADJUSTED AS NECESSARY TO MATCH FINAL PAVEMENT GRADES WITHIN THE LIMITS OF CONSTRUCTION TO ENSURE THERE IS NO PONDING OF WATER ON NEW PAVEMENT AND TO ELIMINATE TRIP/FALL HAZARDS. WHERE THESE EXISTING FEATURES PREVENT THE NEW PAVEMENT FROM BEING CONSTRUCTED AT ELEVATIONS SHOWN, THE CONTRACTOR SHALL ADJUST THE TOPS OF THESE FEATURES TO MATCH FINAL PAVEMENT GRADES TO ENSURE POSITIVE DRAINAGE AND ELIMINATE TRIP/FALL HAZARDS.
 9. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND CONSTRUCTION AREA AND CONTRACTOR'S TEMPORARY PARKING AND STORAGE AREA DURING CONSTRUCTION.
 10. CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. BEYOND THE PROTECTED WORK AREAS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN THE FOOTPRINT OF THE EXISTING STORE WITH THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO WALMART STORE'S OPERATION AND WALMART CUSTOMERS.
 11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC, MAINTAIN SAFE CONSTRUCTION CONDITIONS, AND PROVIDE ADEQUATE TRAFFIC FLOW AT ALL TIMES. TEMPORARY TRAFFIC CONTROL DEVICES, SUCH AS SIGNAGE, STRIPING, FENCING, BARRICADES, ENCLOSURES, BARRIERS, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED BY THE WALMART CONSTRUCTION MANAGER. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN THEIR PROPER POSITION AT ALL TIMES, AND SHALL BE REPAIRED, REPLACED, OR CLEARED AS NECESSARY. ALL CONSTRUCTION WARNING SIGNS SHALL BE PROMPTLY REMOVED OR COVERED WHENEVER THE MESSAGE IS NOT APPLICABLE OR NOT IN USE. EXISTING TRAFFIC ARROWS, PAINTED END COPS, STOP SIGNS AND OTHER PAVEMENT MARKINGS THAT CONFLICT WITH TEMPORARY TRAFFIC CONTROL, PAVEMENT MARKINGS AND TRAFFIC PATTERNS SHALL BE ROAD BLASTED.
 12. NEW ASPHALT PAVEMENT SHALL MATCH EXISTING PAVEMENT AND BASE THICKNESS.
 13. SWAMP CUTTER SLOPE TO PROVIDE POSITIVE DRAINAGE (0.005 MIN.).
 14. NEW HEAVY DUTY CONCRETE SHALL MATCH EXISTING BASE AND THICKNESS.

SITE BUILDING AREA-FOUNDATION SUBSURFACE PREPARATION
WAL-MART- JOB #1428-275
MOUNT PLEASANT, MICHIGAN
9/19/2023

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND THE BUILDING AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, GREENHOUSE CANOPIES, PORCHES, RAMPS, STOPS, TRUCK WELLS/DOCKS, CONCRETE APRONS AT THE AUTOMOTIVE CENTER, COMPACTOR PAD, ETC. APPURTENANCES SHALL ALSO INCLUDE SCREENWELLS AT THE COMPACTOR, TRUCK DOCK AND THE BULK/PALLET STORAGE AREAS). THE INTERIOR SLAB-ON-GRADE BASE AND THE VAPOR BARRIER, WHERE REQUIRED, DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB AND BASE. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. FOR THE BUILDING INTERIOR SLAB-ON-GRADE, THE 6" THICK BASE MATERIAL SHALL CONFORM TO MDOT 21A COURSE AGGREGATE.

FOR APPURTENANCE SLABS (EXTERIOR SLABS), THE 6" THICK BASE MATERIAL SHALL CONFORM TO MDOT 21A COURSE AGGREGATE. THE SUBGRADE MATERIAL SHOULD PROFFER/ROLL AS FIRM AND UNYIELDING. THE UPPER 1 FOOT OF SUBGRADE SHOULD BE COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY PER ASTM D698. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBGRADE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CED AND AOR.

EXISTING FOUNDATIONS, SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSATISFACTORY MATERIAL FROM THE BUILDING AREA. PROFFER/ROLL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSATISFACTORY AREAS WITH SATISFACTORY MATERIAL. SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

LOCATION WITH RESPECT TO FINAL GRADE	P.L.	L.L.
BUILDING AREA, BELOW UPPER 1 FOOT	<20 MAX.>	<40 MAX.>
BUILDING AREA, UPPER 1 FOOT	<20 MAX.>	<40 MAX.>

SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 90 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698) AT A MOISTURE CONTENT WITHIN 3 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT INFORMATION COVERED IN THIS PREPARATION SHALL THE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY EGS MICHIGAN, LLC, DATED SEPTEMBER 19, 2023 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE EXISTING STORM SEWER SYSTEM FREE OF SEDIMENT AND DEBRIS AT ALL TIMES UNTIL THE SITE IS STABILIZED. USE APPROPRIATE BMP'S TO PROTECT STORMWATER INLETS.

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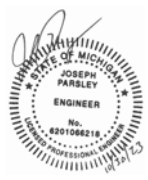
CONSULTANTS
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10000 W. HAWTHORNE AVE., SUITE 100
MOUNT PLEASANT, MICHIGAN 48858-1000
PH: 517.781.1111 FAX: 517.781.1112
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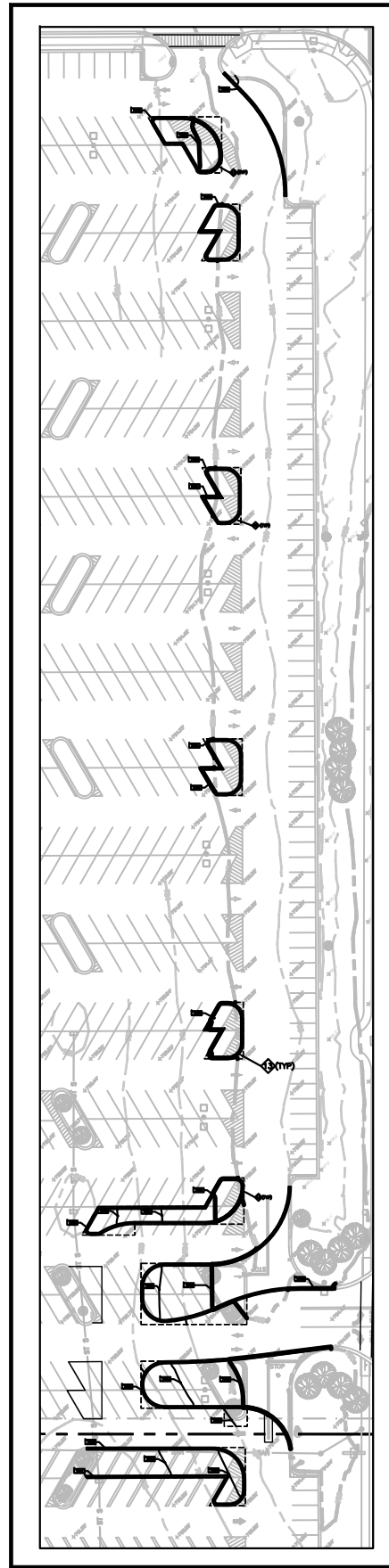
Walmart
MOUNT PLEASANT, MICHIGAN
STORE NO. 01428-275

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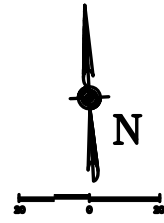
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EAST CONSTRUCTION PLAN
NOT TO SCALE

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE EXISTING STORM SEWER SYSTEM FREE OF SEDIMENT AND DEBRIS AT ALL TIMES UNTIL THE SITE IS STABILIZED. USE APPROPRIATE BMPs TO PROTECT STORMWATER INLETS.



LEGEND

- SMCUT LINE
- xxx -- SPOT ELEVATION
- TP -- TOP OF PAVEMENT
- TS -- TOP OF SIDEWALK
- TC -- TOP OF CURB
- TR -- TOP OF RAMP
- STORM SEWER
- CLEANOUT
- (S1) PROPOSED CONTOUR MINOR
- (S2) PROPOSED CONTOUR MAJOR
- (E1) EXISTING CONTOUR MINOR
- (E2) EXISTING CONTOUR MAJOR

NOTICE TO CONTRACTOR

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- NOTES:**
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 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS IMPACTED BY CONSTRUCTION.
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 - CONTRACTOR SHALL SMCUT EXISTING PAVEMENT, AS SHOWN, TO ALLOW FOR A CLEAH STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
 - CONTRACTOR SHALL PROVIDE BMPs SUCH AS, EROSION EELS, INLET FILTER SOCKS, SILT DIKE ON PAVEMENT, ETC. DOWNGRADIENT OF ANY GROUND DISTURBING ACTIVITIES. ALL BMPs SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
 - CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED CONSTRUCTION ACTIVITIES SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PROJECT.
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 - NEW ASPHALT PAVEMENT SHALL MATCH EXISTING PAVEMENT AND BASE THICKNESS.
 - TRAP GUTTER SLOPE TO PROVIDE POSITIVE DRAINAGE (0.50% MIN.)
 - NEW HEAVY DUTY CONCRETE TO MATCH EXISTING BASE AND THICKNESS.

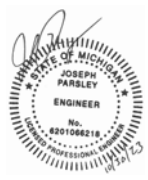
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MOUNT PLEASANT, MICHIGAN
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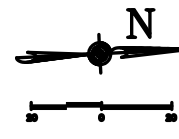
LEGEND:

- EXISTING SIGN TO BE REMOVED
- NEW SIGN ON EXISTING BASE (EXISTING SIGNAGE TO BE REMOVED)
- NEW SIGN AND BASE

PATH OF TRAVEL FOR PICKUP CUSTOMER (FROM RIGHT-OF-WAY TO PICKUP ENTRANCE)

DESCRIPTION	DIMENSIONS	QTY
PICKUP RIGHT	18" X 24"	3
PICKUP LEFT	18" X 24"	5
PICKUP AHEAD	18" X 24"	3
PICKUP BANNER AND MOUNTING HARDWARE	24" X 60"	1

- NOTES:**
- SIGNAGE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL ENSURE EXISTING IMPROVEMENTS DO NOT CONFLICT WITH THE SIGNS AND/OR SIGN VISIBILITY. IF IT IS DETERMINED THAT CONFLICTS EXIST, CONTRACTOR SHALL COORDINATE WITH WALMART CONSTRUCTION MANAGER PRIOR TO CHANGING SIGN LOCATION AND/OR EXISTING IMPROVEMENTS.
 - ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEEPER (Brad.Keep@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS. NEW DIRECTIONAL SIGNAGE TO BE INSTALLED ON EXISTING POSTS WHEN POSSIBLE.



DIRECTIONAL SIGNAGE OVERALL SITE PLAN
N.T.S.

NOTES FOR SINGLE POST WITH BOLLARD:

- SIGNS
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED.
- POST TUBES SHALL MEET ASTM A1011 GRADE 50.
- POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.

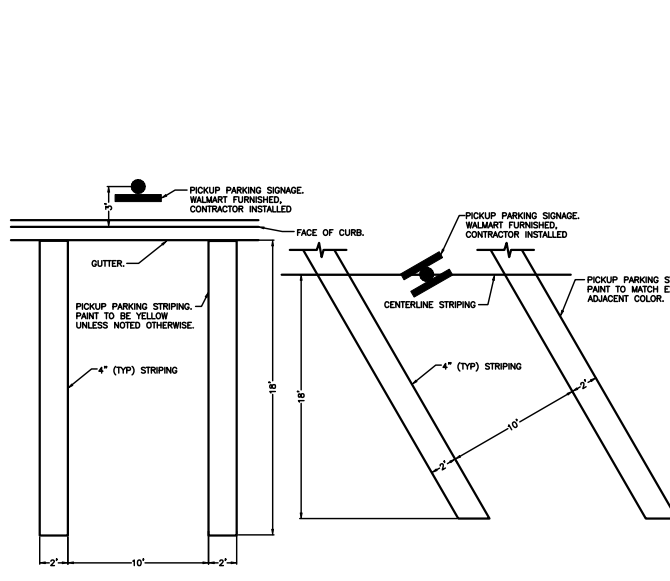
NOTES FOR SINGLE POST WITH BREAK AWAY POST:

- SIGNS
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED.
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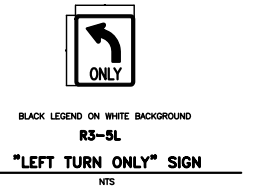
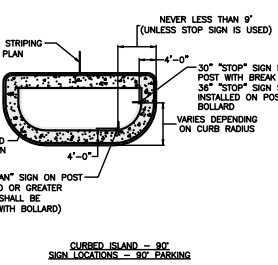
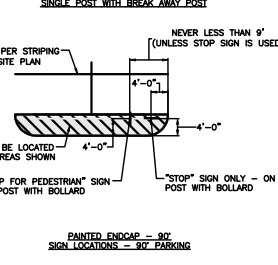
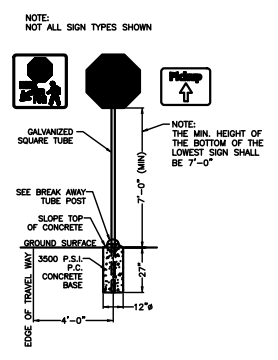
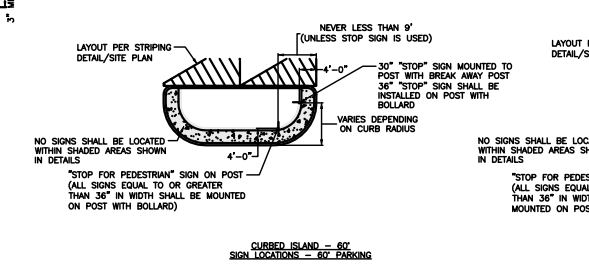
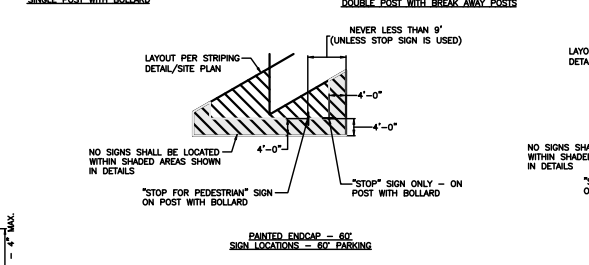
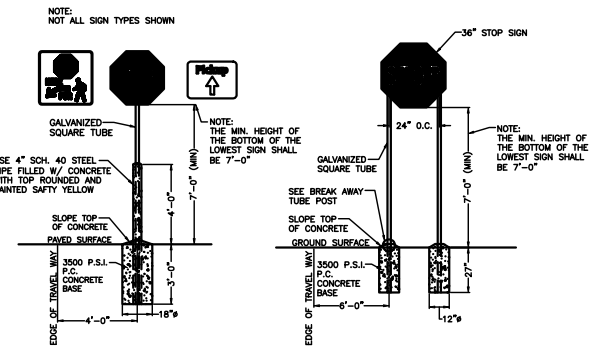
NOTES FOR BREAK AWAY POST:

- GALVANIZED SQUARE TUBE
- POST TUBES - 2"x2" 12ga
- POST TUBE SHALL MEET ASTM A1011 GRADE 50.
- POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
- ANCHOR TUBE - 2-1/4"x2-1/4" 12ga
- HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
- STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.
- THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.

SIGN MOUNTING AND BASE

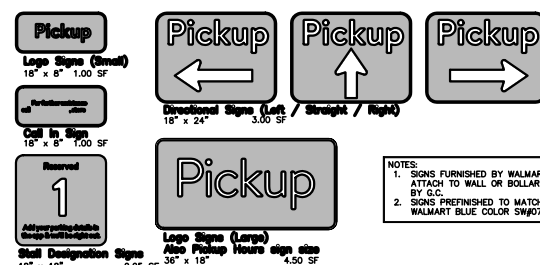


"PICKUP" PARKING STALL PAVEMENT MARKINGS



"LEFT TURN ONLY" SIGN
NTS

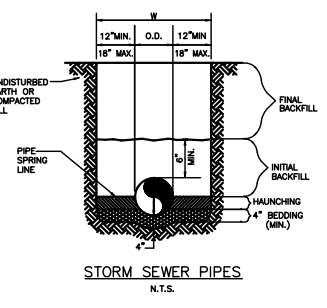
MUTCD SIGNAGE



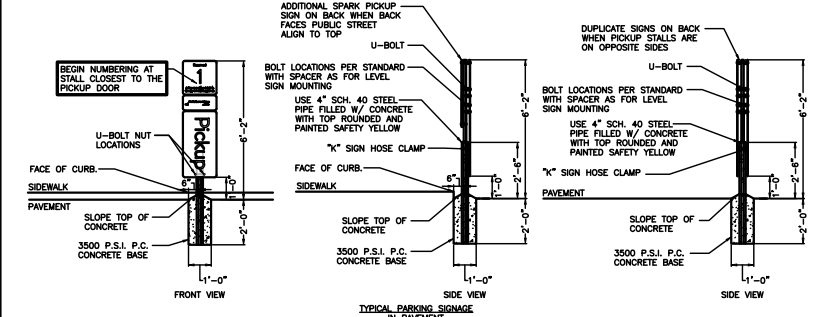
"PICKUP" SIGNAGE

- GENERAL NOTES:**
- BEDDING SHALL BE CLASS I WORKED BY HAND OR CLASS II COMPACTED TO 90% STANDARD PROCTOR.
 - HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I OR CLASS II COMPACTED TO 90% PROCTOR.
 - INITIAL BACKFILL SHALL BE CLASS I WORKED BY HAND OR CLASS II COMPACTED TO 90% STANDARD PROCTOR.
 - INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
 - FINAL BACKFILL SHALL BE CLASS II, III, OR IV COMPACTED TO 98% STANDARD PROCTOR.
 - FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV COMPACTED TO 95% STANDARD PROCTOR.
 - ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-11.
 - ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 - FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 - ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)
 - ANY OPEN-GRADED MATERIAL MEETING THE REQUIREMENTS OF ASTM D 2321-11 MAY BE USED ONLY IF THE MATERIAL IS WRAPPED IN AN APPROVED FILTER OR DRAINAGE FABRIC (REFER TO SITEMARK SPECIFICATION SECTION 02300 FOR TYPES) AND WITH WRITTEN PERMISSION FROM THE CEC.
 - THE UPPER 12" OF FINAL BACKFILL (MAY BE REDUCED TO 9" IN LIMITED AREAS WHERE BURIAL DEPTH WILL NOT ALLOW FOR 12" CAP) FOR ALL TRENCHES IN NON-PAVED AREAS SHALL BE A LOW PLASTICITY COHESIVE FILL. REFER TO SITEMARK SPECIFICATION SECTION 02300 FOR ALLOWABLE "SATISFACTORY MATERIALS" AND COMPACTION REQUIREMENTS.
 - BEDDING, HAUNCHING, AND INITIAL AND FINAL BACKFILL MATERIALS USED IN CONJUNCTION WITH ANY PIPES WHICH PENETRATE A LEVEE OR ROAD EMBANKMENT, SHALL BE A LOW PERMEABILITY, COHESIVE SOIL. SOILS EXHIBITING HIGH SHRINK/SWELL POTENTIAL OR CONTAINING GREATER THAN 5% ORGANICS SHALL NOT BE USED.

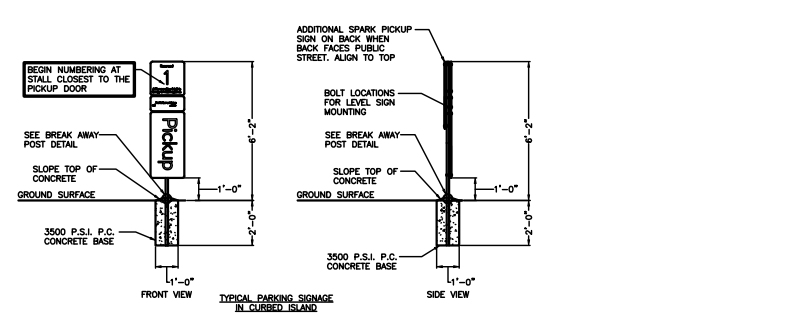
STORM SEWER TRENCH



STORM SEWER PIPES
N.T.S.



TYPICAL PARKING SIGNAGE IN PAVEMENT



TYPICAL PARKING SIGNAGE IN CURBED ISLAND

NOTE: SEE SSM/SECP DETAILS FOR ADDITIONAL SIGNAGE AND MARKINGS DETAILS

PICKUP STRIPING AND SIGNAGE DETAILS

CONSULTANTS

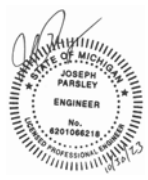
CARLSON ENGINEERS, INC.
2150 W. MICHIGAN AVE., SUITE 100
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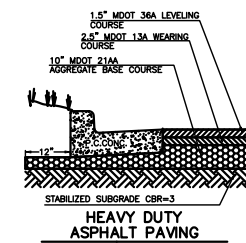
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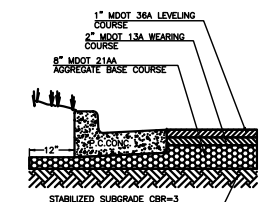
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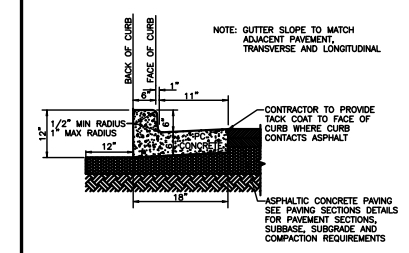
HEAVY DUTY ASPHALT PAVING



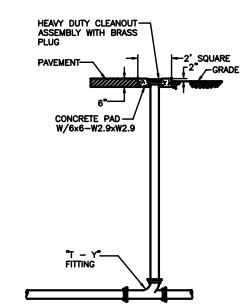
STANDARD DUTY ASPHALT PAVING

1. FOR PREPARATION OF PAVEMENT SUBGRADE, FILL SHALL BE PLACED IN ACCORDANCE WITH SECTION 02300 OF THE SITEMARK SPECIFICATIONS.
2. AGGREGATE BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2012 EDITION, COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698 (STANDARD PROCTOR).
3. ASPHALTIC WEARING AND LEVELING COURSE MIXTURES SHALL BE IN ACCORDANCE WITH THE TYPE CALLED OUT ABOVE AND REFERENCED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS CONSTRUCTION, 2012 EDITION.
4. SOURCE: GEOTECHNICAL ENGINEERING REPORT PREPARED BY PSI AND DATED JUNE 4, 2020.

PAVEMENT SECTION



TYPE "A" CURB & GUTTER



STORM SEWER CLEANOUT
N.T.S.

STORM SEWER CLEANOUT

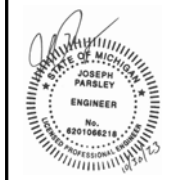
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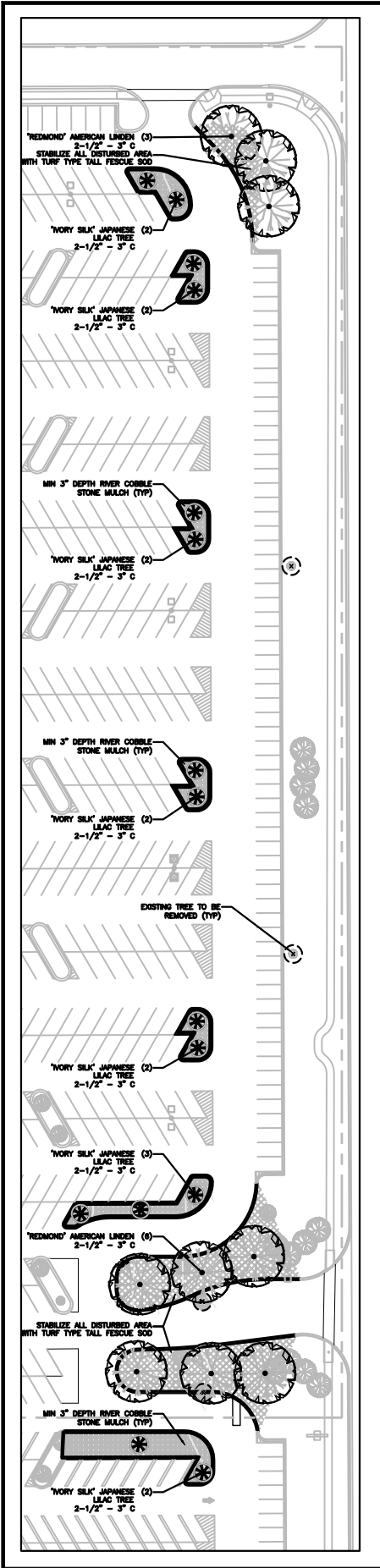
CONSULTANTS
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CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MAINTENANCE AND A WARRANTY ON ALL PLANT MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.

ALL UNSURFACED AREAS SHALL RECEIVE A 6" LAYER OF SUITABLE TOPSOIL AND SOIL WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SOD SHALL BE PEGGED ON ALL 3:1 SLOPES OR STEEPER IN ORDER TO HOLD SOD IN PLACE. SEE SITEWORK SPECIFICATIONS FOR OTHER REQUIREMENTS.

UNLESS SHOWN OTHERWISE, ALL LARGE CANOPY TREES SHALL MAINTAIN 20' HORIZONTAL CLEARANCE FROM ALL OVERHEAD UTILITY LINES AND 10' HORIZONTAL CLEARANCE FROM ALL UNDERGROUND UTILITY LINES.

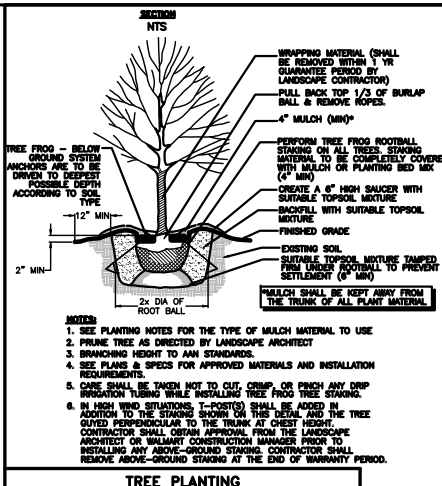
TREE PROTECTION FENCING TO BE REMOVED JUST PRIOR TO THE INSTALLATION OF ALL LANDSCAPE PLANTING.

ALL TREE PLANTINGS SHALL INCLUDE A TREE DIAPER IRRIGATION COMPONENT.

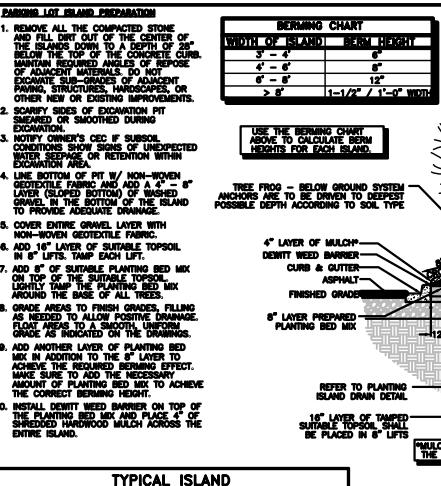
PLANT SCHEDULE							
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE (BOTH MINS TO BE MET)	SPACING	CONDITION	REMARKS
TREES: (ALL TREES TO BE GRADED FLORIDA FANCY)							
15	(S)	SYRINGA RETICULATA 'NORY SILK'	'NORY SILK' JAPANESE LILAC TREE	2-1/2" - 3" C / 10' - 12' HT	AS SHOWN	BAB/CONT	FULL HEAD 1/4" UNIFORM GROWTH, STRONG CENTRAL LEADER, 8" CLEAR TRUNK
9	(L)	TILIA AMERICANA 'REDMOND'	'REDMOND' AMERICAN LINDEN	2-1/2" - 3" C / 12' - 14' HT	AS SHOWN	BAB/CONT	FULL HEAD 1/4" UNIFORM GROWTH, STRONG CENTRAL LEADER, 8" CLEAR TRUNK
GROUNDCOVERS:							
ALL	(G)	FESTUCA ARUNDINACEA	TURF TYPE TALL FESCUE SOD	SOLID SOD	SOLID	SLAB/ROLL	WEED FREE & ACTIVELY GROWING
ALL	(M)	STONE MULCH	STONE MULCH	3" LAYER OF (2" - 4")	SOLID	BULK	GRAY/TAN COLOR BLEND

NOTE: ALL SIZES AND CONDITION OF NURSERY STOCK SHALL MEET THE STANDARDS ESTABLISHED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, OR A MIN. OF FLORIDA NO.1 GRADE, WHICHEVER IS APPLICABLE.

NOTE: SPECIES SUBSTITUTIONS OR UNDERSIZING ANY PLANT MATERIAL IS A BREACH OF CONTRACT OR BID. NO SUBSTITUTIONS OF PLANT MATERIALS ARE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.



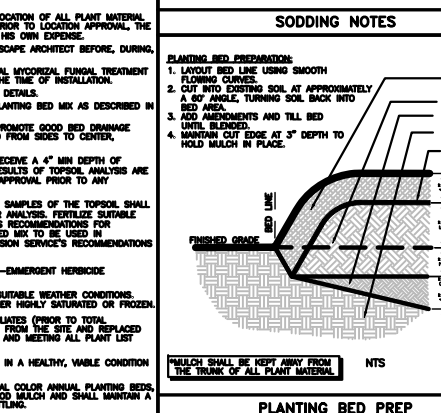
- TREE PLANTING**
- SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
 - BRANCHING HEIGHT TO AHN STANDARDS.
 - SEE PLANS & SPECS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
 - CARE SHALL BE TAKEN NOT TO CUT, CRIMP, OR PRUN ANY CRIP IRRIGATION TUBING WHILE INSTALLING TREE FROG TREE STAKING.
 - IN HIGH WIND SITUATIONS, T-POSTS SHALL BE ADDED TO THE STAKING SHOWN ON THIS DETAIL AND THE TREE GUYED PERPENDICULAR TO THE TRUNK AT GUY POINT. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT OR WALMART CONSTRUCTION MANAGER PRIOR TO INSTALLING ANY ABOVE-GROUND STAKING. REMOVE ABOVE-GROUND STAKING AT THE END OF WARRANTY PERIOD.



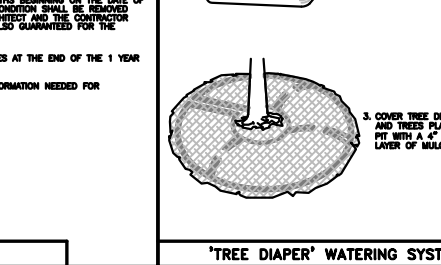
- TYPICAL ISLAND**
- REMOVE ALL THE COMPACTED SOIL AND FILL THE CENTER OF THE ISLAND DOWN TO A DEPTH OF 24" WITH THE BEST AVAILABLE SOIL.
 - SCARIFY SIDES OF EXCAVATION PIT SHOWN OR SMOOTHED DURING EXCAVATION.
 - VERIFY GUYING SYSTEM AND ADJUST AS NEEDED TO ACHIEVE CORRECT BRACING.
 - LINE BOTTOM OF PIT W/ NON-WOOD MEDICAL-GRADE PLYWOOD AND ADD A 1" - 2" LAYER (SLOPED BOTTOM) OF WASHED GRAVEL IN THE BOTTOM OF THE ISLAND TO PROVIDE ADEQUATE DRAINAGE.
 - COVER ENTIRE GRAVEL LAYER WITH NON-WOOD GEOTEXTILE FIBER.
 - ADD 1" LAYER OF SUITABLE TOPSOIL ON TOP OF THE SUITABLE TOPSOIL.
 - GRADE AREAS TO FINISH GRADE, FILLING AS NEEDED TO ALLOW POSITIVE DRAINAGE. FLOOR AREAS TO A SMOOTH, UNIFORM FINISH AS SHOWN ON THE PLANS.
 - ADD ANOTHER LAYER OF PLANTING BED MIX IN ADDITION TO THE 4" LAYER TO ACHIEVE THE CORRECT BRACING HEIGHT.
 - INSTALL DENSITY WEED BARRIER ON TOP OF THE PLANTING BED MIX AND PLACE 4" OF SHEDDED HARDWOOD MULCH ACROSS THE ENTIRE ISLAND.

- PLANTING NOTES**
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND LOCATING ALL UNDERGROUND UTILITIES AND ALL UTILITIES DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST, NO PLANTING SHALL BE INSTALLED IN CONFLICT WITH UTILITIES.
 - LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ON THE PROJECT SITE AND ADJUST TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO STOP WORK AND CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - SAFELY CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 - ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
 - AFTER BEING DAMAGED AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - ALL LANDSCAPED AREAS SHALL BE SPRAYED WITH HERBICIDE 4 WEEKS PRIOR TO INSTALLATION OF LANDSCAPING. THE EXISTING MATERIAL SHALL BE REMOVED BEFORE ANY INSTALLATION OF PLANT MATERIAL OR SEED.
 - THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LOCATION APPROVAL, THE CONTRACTOR MAY BE REQUIRED TO RELOCATE MATERIAL AT HIS OWN EXPENSE.
 - ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL NEW TREES SHALL HAVE "NORY TREE SAFETY" OR EQUAL VERTICAL FUNGAL TREATMENT INSTALLED AT RATE RECOMMENDED BY MANUFACTURER AT THE TIME OF INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL SHRUB BED AREAS SHALL RECEIVE A MIN OF 8" OF PLANTING BED MIX AS DESCRIBED IN PLANTING BED PREP DETAIL.
 - ALL BED AREAS SHALL BE BERMED A MINIMUM OF 8" TO PROMOTE GOOD BED DRAINAGE (AFTER GENTLE TOPSOIL TAMPING). BEDS WILL BE MOUNDED FROM SIDES TO CENTER, PROMOTING GOOD DRAINAGE.
 - ALL CONSTRUCTION AREAS TO RECEIVE TURFGASS SHALL RECEIVE A 4" MIN DEPTH OF SUITABLE TOPSOIL MIX PER DETAILS AND SPECIFICATIONS. RESULTS OF TOPSOIL ANALYSIS ARE TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR THE APPROVAL PRIOR TO ANY TURFGASS OPERATIONS TAKING PLACE.
 - PRIOR TO PLANTING OR SEEDING, MULTIPLE REPRESENTATIVE SAMPLES OF THE TOPSOIL SHALL BE TAKEN AND SENT TO THE STATE EXTENSION AGENCY FOR ANALYSIS. FERTILIZE SUITABLE TOPSOIL IN TURFGASS AREAS AS PER EXTENSION SERVICE'S RECOMMENDATIONS FOR TURFGASS SPECIES SPECIFIED ON PLANS. THE PLANTING BED MIX TO BE USED IN SHRUB PLANTING BEDS IS TO BE FERTILIZED AS PER EXTENSION SERVICE'S RECOMMENDATIONS FOR ORNAMENTAL PLANTINGS.
 - ALL PLANTING BEDS SHALL HAVE "SURFLIN" OR EQUAL PRE-EMERGENT HERBICIDE BROADCAST AT RATE RECOMMENDED BY MANUFACTURER.
 - PLANTING OPERATIONS SHOULD ONLY TAKE PLACE DURING SUITABLE WEATHER CONDITIONS. PLANTS ARE NOT TO BE INSTALLED WHEN THE SOIL IS EITHER HIGHLY SATURATED OR FROZEN.
 - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLORATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
 - DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VIGOROUS CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - ALL PLANTING AREAS, SHRUBS, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH SHEDDED HARDWOOD MULCH AND SHALL MAINTAIN A MINIMUM LAYER OF (4") FOUR INCHES IN DEPTH AFTER SETTLING.
 - THERE IS NO SEPARATE PAY ITEM FOR DRESSING OUT SHRUB BEDS OR TREE SAUCERS WITH MATERIAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEING PLACED IN THE WORK. ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - ALL DISTURBED AREAS ARE TO RECEIVE A 4" LAYER OF SUITABLE TOPSOIL AND HYDROSEED AND/OR SOD (WHERE SHOWN) WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
 - ALL PLANT MATERIALS SHALL BE GUARANTEED FOR 12 MONTHS BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. PLANTS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED FROM THE SITE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS WITH PLANTS ALSO GUARANTEED FOR THE REMAINDER OF THE 12 MONTH WARRANTY.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL GUY WIRES AT THE END OF THE 1 YEAR WARRANTY PERIOD.
 - REFER TO PROJECT SITEWORK SPECIFICATIONS FOR ALL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.

- SOD:**
- ALL SLOPED AREAS TO BE TURF TYPE TALL FESCUE.
 - ALL CURBED ISLANDS TO BE SODDED UNLESS NOTED OTHERWISE.
 - SLOPES GREATER THAN 3:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - ALL AREAS TO BE SODDED SHALL RECEIVE A MINIMUM 4" LAYER OF SUITABLE TOPSOIL THAT MEETS THE CONDITIONS LISTED ABOVE AND THAT HAS BEEN TILLED, FINE GRADED, AND HAS NO ALL STONES, ROOTS, DEBRIS, ETC REMOVED.
 - SOD IS TO BE LAID AS SOON AS IT IS DELIVERED TO PLANTING AREAS. ONLY HEALTHY MOIST GREEN SOD IS TO BE LAID. ANY SOD WHICH IS BROWN AND UNDER STRESS IS UNACCEPTABLE. ANY SOD WHICH IS NOT LAID WITHIN 24 HOURS OF DELIVERY SHALL BE UNACCEPTABLE.
 - SOD SHALL BE A MINIMUM OF 3/4" THICK, FREE OF WEEDS AND PESTS AND CUT NO MORE THAN 24 HOURS PRIOR TO PLANTING.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER AND END JOINTS STAGGERED SO AS TO MAKE A SMOOTH SODDED AREA.
 - ANY JOINTS OR SEAMS THAT MAY EXIST AFTER LAYING SOD SHALL BE FILLED WITH SAND SO AS TO CREATE A SMOOTH AND UNIFORM GROWING SURFACE.
 - SOD IS TO BE ROLLED AND WATERED AT THE TIME OF INSTALLATION TO ENSURE GOOD SOD-SOIL CONTACT AND TO PROVIDE A SMOOTH, UNIFORM WALKING SURFACE.
- ALL UNSURFACED AREAS SHALL RECEIVE 4" TOPSOIL AND SEED AND/OR SOD (WHERE SHOWN) WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- SOD IS TO BE PEGGED ON ALL SLOPES IN ORDER TO HOLD SOD IN PLACE. SEE SITEWORK SPECIFICATIONS FOR OTHER REQUIREMENTS.



- 'TREE DIAPER' WATERING SYSTEM**
- SOAK TREE DIAPER IN TUB OF WATER OVERNIGHT (6-10RS MIN).
 - PLACE OVER ROOTBALL OF NEWLY PLANTED TREES (NOTE LARGER TREE DIAPER SYSTEMS COME IN MULTIPLE SIZES).
 - COVER TREE DIAPER AND TREES PLANTING PIT WITH A 4" MIN LAYER OF MULCH.
- NOTE: INSTALL ALL GUYING SYSTEM FOR TREE INSTALLATION PRIOR TO PLACING TREE DIAPER AROUND TRUNK.
- MULCH SHALL BE KEPT AWAY FROM THE TRUNK OF ALL PLANT MATERIAL.

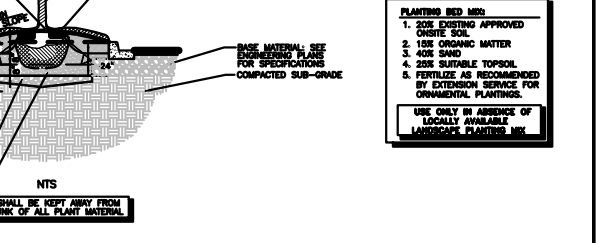


- PLANTING BED PREP**
- LAYOUT BED LINE USING SMOOTH FLOWING CURB TURNING SOIL AT APPROXIMATELY 90 DEGREES BACK INTO BED AREA.
 - ADD AMENDMENTS AND TILL BED.
 - MAINTAIN CUT EDGE AT 3" DEPTH TO HOLD MULCH IN PLACE.
- PLANTING BED MIX:**
- SOIL EXISTING APPROVED OR BEST SOIL.
 - USE ORGANIC MATTER.
 - 40% SAND.
 - 20% SUITABLE TOPSOIL.
 - FERTILIZE AS RECOMMENDED BY EXTENSION SERVICE FOR ORNAMENTAL PLANTINGS.

BERMING CHART

WIDTH OF ISLAND	BERM HEIGHT
3' - 4'	6"
4' - 5'	8"
5' - 6'	12"
> 6'	1-1/2" / 1'-0" MIN

USE THE BERMING CHART ABOVE TO CALCULATE BERM HEIGHTS FOR EACH ISLAND.



SHADE AND FLOWERING TREES

CALIPER	HEIGHT		MINIMUM DRAINAGE BALL	BALL DEPTH
	TYPE 1	TYPE 2		
1"	6'-10"	6'-7"	16"	12"
1-1/2"	10'-12"	8'-9"	20"	15"
2-1/2"	12'-14"	8'-10"	24"	18"
3"	14'-16"	10'-12"	32"	18"
3-1/2"	14'-16"	10'-12"	36"	23"
4"	16'-18"	10'-12"	40"	23"
4-1/2"	16'-18"	10'-12"	48"	29"
5"	18'+	12'+	54"	32"
5-1/2"	18'+	12'+	60"	34"
6"	20'+	14'+	66"	38"
7"	24'+	16'+	70"	42"
8"	28'+	18'+	80"	48"

NOTE: ALL MINIMUM SIZES LISTED IN PLANT SCHEDULE SHALL BE MET: CALIPER, HEIGHT, AND ROOT BALL.

SOURCE: AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS MUST BE GUARANTEED FOR 12 MONTHS. SHADE TREES: BOTH MINIMUMS MUST BE MET.

TREE SIZE/ROOT BALL RELATIONSHIP

TYPE 1 (LARGE SHADE TREES)		TYPE 2 (MEDIUM/SLOW SHADE TREES)	
ACER RUBRUM	PLATANUS SPP	FRAXINUS SPP	MANGROVIA GRANDIFLORA
ACER SACCHARINUM	QUERCUS SPP	CELTIS SPP	NYSSA SPP
BETULA SPP	RANUNCULUS SPP	GLABRANTHERA LUTEA	OLEA EUROPAEA
CORNUS SPP	SILVA SPP	PAVIA STAMATA	QUERCUS ALBA
FRAXINUS SPP	TRILLIUM SPP	MOERBERGIA SPP	SORBUS SPP
LAVANULA SPP	STYRAX SPP	MALUS SPP	TILIA CORDATA
LOQUATUM SPP	SYRINGA RETICULATA	LOQUATUM SPP	TILIA PARIETALIS
TYPE 3 (SMALL UPRIGHT TREES)		TYPE 4 (SMALL SPREADING TREES)	
ACER CHOPSTREET	MAGNOLIA VIRGINIANA	ACER PALMATUM	
AMELANCHIER SPP	PRUNUS SPP	ACER GRINUM	
CAMPANULUS SPP	PRUNUS SPP	CORNUS SPP	
CERCIS SPP	STYRAX SPP	LAGERSTRONGIA SPP	
COTONNEAU SPP	STYRAX SPP	MANGROVIA SOULABIANA	
HYDRANGEA SPP		MANDELPAEDA SPP	

STABILIZATION FOR REUSE

USE OF WATER OR OTHER LIQUID TO STABILIZE ALL DISTURBED AREAS WITH TURF TYPE TALL FESCUE SOD.

CONSULTANTS

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PLANTING PLAN

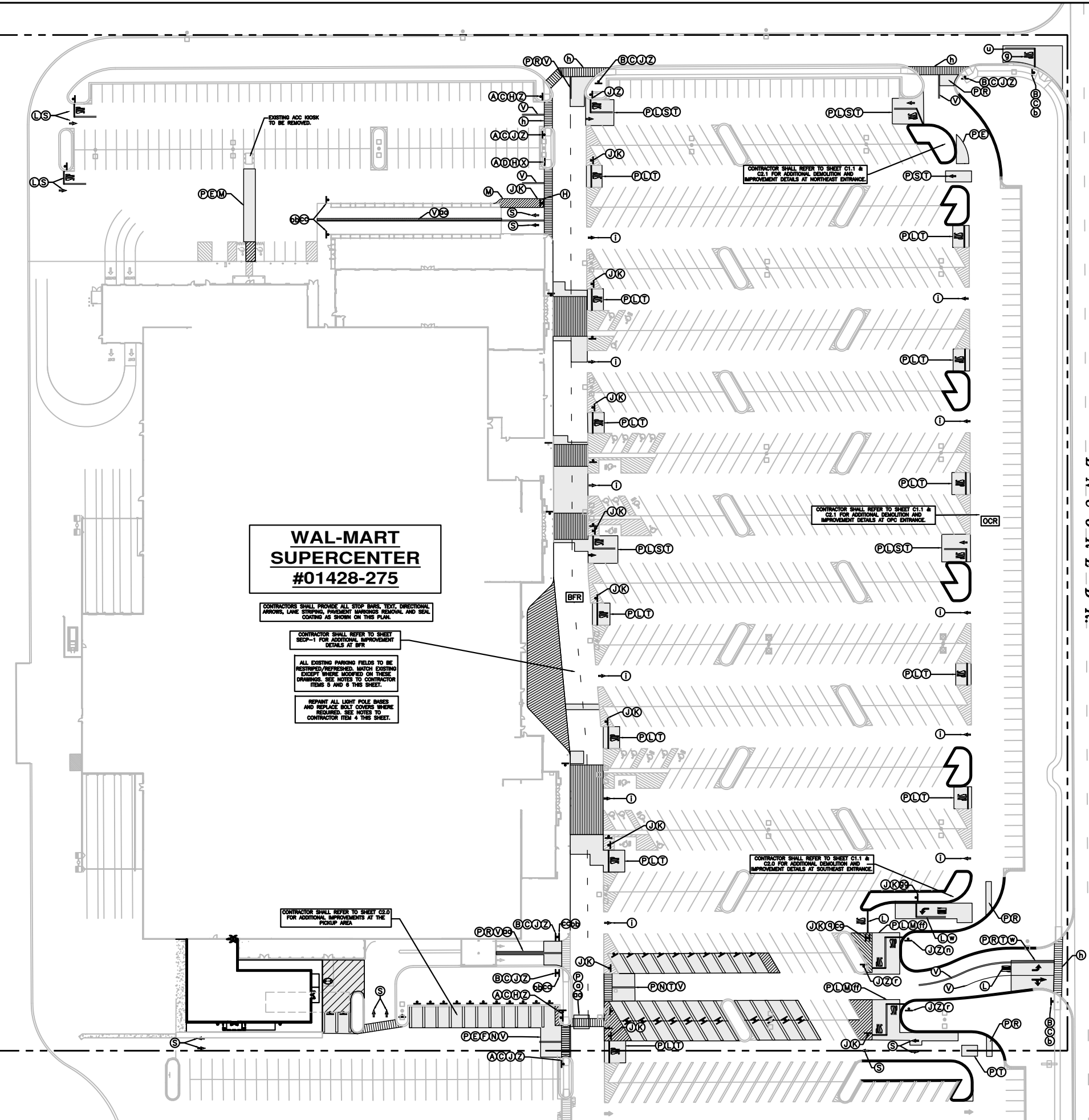
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MISSISSIPPI SYSTEM

SHEET: **L1.0**

056



**WAL-MART
SUPERCENTER
#01428-275**

CONTRACTOR SHALL PROVIDE ALL STOP SIGNS, TEXT, DIRECTIONAL ARROWS, LANE STRIPING, PAVEMENT MARKINGS REMOVAL AND SEAL COATING AS SHOWN ON THIS PLAN.

CONTRACTOR SHALL REFER TO SHEET SSM-1 FOR ADDITIONAL IMPROVEMENT DETAILS AT BFR.

ALL EXISTING PARKING FIELDS TO BE RESTRIPE/REFRESHED. MATCH EXISTING EXCEPT WHERE MODIFIED ON THESE DRAWINGS. SEE NOTES TO CONTRACTOR ITEMS 5 AND 6 THIS SHEET.

REPAIR ALL LIGHT POLE BASES AND REPLACE BOLT COVERS WHERE REQUIRED. SEE NOTES TO CONTRACTOR ITEM 4 THIS SHEET.

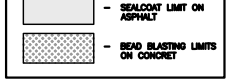
CONTRACTOR SHALL REFER TO SHEET C2.0 FOR ADDITIONAL IMPROVEMENTS AT THE PICKUP AREA.

CONTRACTOR SHALL REFER TO SHEET C1.1 & C2.1 FOR ADDITIONAL DEMOLITION AND IMPROVEMENT DETAILS AT NORTHEAST ENTRANCE.

CONTRACTOR SHALL REFER TO SHEET C1.1 & C2.1 FOR ADDITIONAL DEMOLITION AND IMPROVEMENT DETAILS AT OPC ENTRANCE.

CONTRACTOR SHALL REFER TO SHEET C1.1 & C2.0 FOR ADDITIONAL DEMOLITION AND IMPROVEMENT DETAILS AT SOUTHEAST ENTRANCE.

PAVEMENT LEGEND



STOP SIGNS AND MARKINGS LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN.
 - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED ENTIRELY OR TO EXTENTS INDICATED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING TO REMAIN AND BE REPAINTED/MODIFIED TO ACCOMMODATE NEW CROSSWALK CONFIGURATION.
 - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - (I) NEW 30"x30" STOP SIGN.
 - (J) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (K) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (L) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
 - (M) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (N) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (O) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
 - (P) EXISTING STOP BAR/STOP TEXT PAVEMENT MARKINGS/DOUBLE YELLOW STRIPE TO BE REMOVED.
 - (Q) NEW OPEN ARROW PAVEMENT MARKINGS.
 - (R) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (S) EXISTING FIRE LANE STRIPING AND/OR YELLOW STRIPING TO REMAIN/BE REPAINTED/MODIFIED TO ACCOMMODATE NEW CROSSWALK CONFIGURATION.
 - (T) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE AND/OR SINGLE WHITE.
 - (U) EXISTING STOP SIGN TO REMAIN/BE REUSED.
 - (V) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
 - (W) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
 - (X) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (Y) EXISTING PICKUP PAVEMENT MARKINGS TO BE REMOVED.
 - (Z) NEW 30"x30" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (AA) NEW PICKUP CROSSWALK MARKINGS. SEE DETAIL.
 - (AB) EXISTING ISLAND STRIPING TO BE REMOVED.
 - (AC) NEW CHANNELIZATION AT PICKUP DOOR. SEE DETAIL.
 - (AD) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT AND/OR "ONLY" TEXT TO BE REUSED/REFRESHED TO MATCH CURRENT DETAILS.
 - (AE) EXISTING CROSSWALK TO REMAIN/BE REPAINTED.
 - (AF) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REUSED/REFRESHED TO MATCH CURRENT DETAILS.
 - (AG) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN/BE REUSED.
 - (AH) NEW TRAFFIC FROM THE LEFT DOES NOT STOP PLAQUE.
 - (AI) NEW TRAFFIC FROM RIGHT DOES NOT STOP PLAQUE.
 - (AJ) NEW ONCOMING TRAFFIC DOES NOT STOP PLAQUE.
 - (AK) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
 - (AL) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REUSED/REFRESHED TO MATCH CURRENT DETAILS.
 - (AM) EXISTING 4" WIDE DOUBLE YELLOW AND/OR WHITE SINGLE STRIPE TO REMAIN/REFRESHED/EXTENDED AS SHOWN ON PLANS.
 - (AN) NEW SOLID ARROW PAVEMENT MARKING.
 - (AO) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
 - (AP) EXISTING PICKUP GRAPHIC AND ORANGE PAVEMENT MARKINGS TO REMAIN (NOT TO BE REPAINTED).
 - (AQ) EXISTING PICKUP SIGN TO REMAIN.
 - (AR) EXISTING STRIPING TO BE REMOVED.
 - (AS) EXISTING "DO NOT ENTER" SIGN TO BE REMOVED.
 - (AT) NEW "EXIT ONLY" SIGN.
 - (AU) CROSSWALK TO BE REMOVED WITHIN LIMITS OF THE OUTLINE.
 - (AV) NEW 6" WIDE SINGLE WHITE TRAVERSE LINE.
 - (AW) EXISTING PARKING STRIPING TO BE REMOVED.
 - (AX) NEW LEFT TURN ONLY SIGN.

- NOTES TO CONTRACTOR:**
- BFR (BUILDING FRONTAGE ROAD) OR (OUTER CIRCULATION ROAD)
 - CONTRACTOR SHALL PROVIDE ALL STOP SIGNS, TEXT, DIRECTIONAL ARROWS, LANE STRIPING, PAVEMENT MARKINGS REMOVAL AND SEAL COATING TO MATCH CURRENT DETAILS AT LOCATION AS SHOWN ON THESE PLANS.
 - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
 - ALL LIGHT POLE BASES SHALL BE REPAINTED, AND BOLT COVERS REPLACED WHERE MISSING OR DAMAGED. REMOVE CHIPPING OR FLAKING PAINT PRIOR TO PAINTING. PREVIOUS OR NEW OVERSPRAY ON SURROUNDING PAVING SHALL BE REMOVED. SEE ARCHITECTURAL SPECIFICATION SECTION 03100 FOR ADDITIONAL INFORMATION.
 - RESTRIPE/REFRESH ALL EXISTING PARKING FIELDS (MARK, SIDE AND REAR OF STONE).
 - DO NOT STRIPE/REFRESH (SEE NOTE 4) IF SIMILAR WORK WAS COMPLETED WITHIN LAST YEAR. CONFIRM WITH CONSTRUCTION MANAGER.
 - WHERE SIGNS ARE LOCATED ADJACENT TO TREES OR OTHER VEGETATION, TRIM LIMBS/BRANCHES AS REQUIRED TO ALLOW FOR PROPER VISIBILITY. WHERE NECESSARY, ADJUST SIGN LOCATION, BUT MAINTAIN MINIMUM CLEARANCES SHOWN IN THE DETAILS.
- NOTICE TO CONTRACTOR:**
- STOP SIGNS MUST BE LOCATED A MINIMUM OF 4' OFF THE DRIVE ISLE AND 4' OFF THE BUILDING FRONTAGE ROAD. PEDESTRIAN CROSSING SIGNS MUST BE A MINIMUM OF 17' OFF THE DRIVE ISLE AND 4' OFF THE BUILDING FRONTAGE ROAD. THIS SHALL BE MEASURED FROM THE FACE OF CURB OR THE EDGE OF THE STRIPED ISLAND. REFER TO DETAILS FOR ADDITIONAL INFORMATION. SIGNS NOT INSTALLED IN THE PROPER LOCATIONS WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.



ENCORE DRIVE

STOP SIGNS AND MARKINGS PLAN

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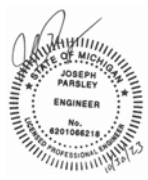
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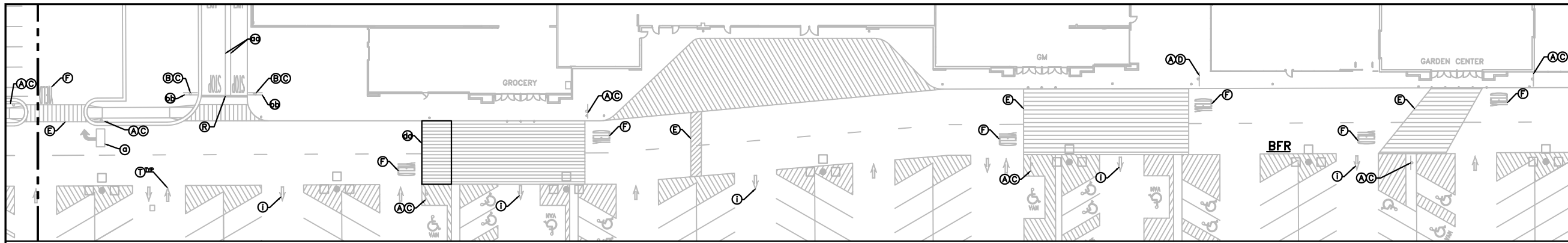
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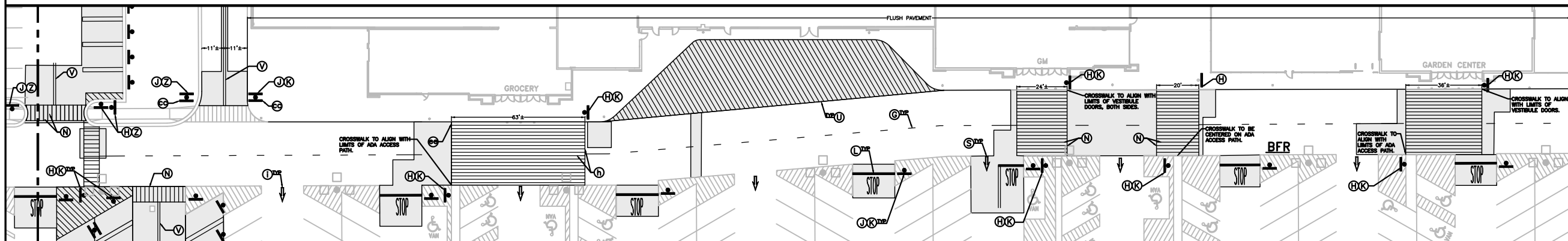
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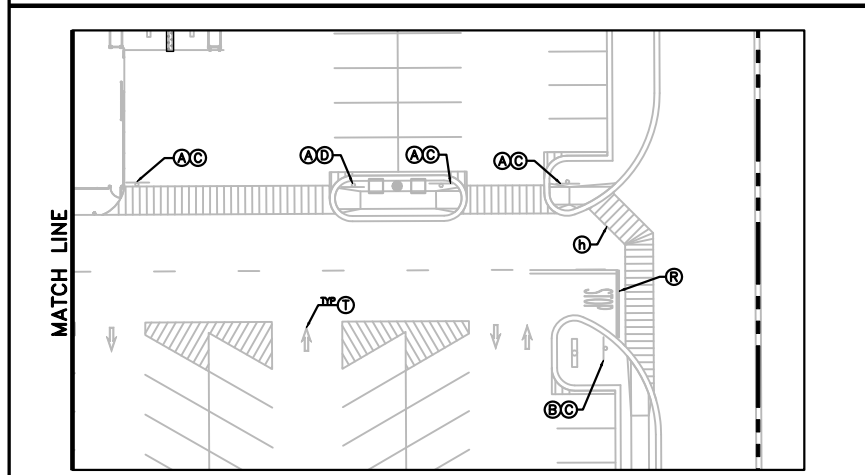
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SSM-1



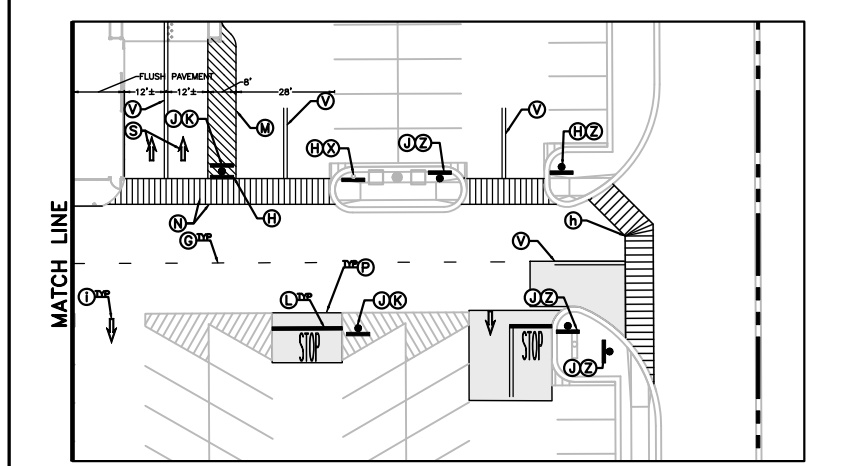
DEMOLITION PLAN



SITE CONSTRUCTION PLAN



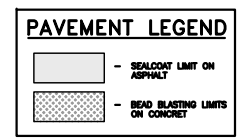
DEMOLITION PLAN



SITE CONSTRUCTION PLAN

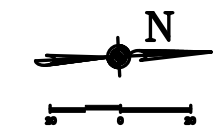
SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN.
 - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING TO REMAIN AND BE REPAINTED/MODIFIED TO ACCOMMODATE NEW CROSSWALK CONFIGURATION.
 - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - (I) NEW 30"x30" STOP SIGN.
 - (J) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (K) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (L) NEW 4" WIDE PAINTED YELLOW STRIPES - 4" LONG WITH 18" GAPS.
 - (M) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (N) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (O) NEW 4" WIDE PAINTED YELLOW STRIPES - 4" LONG WITH 18" GAPS.
 - (P) EXISTING STOP BAR/STOP TEXT PAVEMENT MARKINGS/DOUBLE YELLOW STRIPE TO BE REMOVED.
 - (Q) NEW OPEN ARROW PAVEMENT MARKINGS.
 - (R) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (S) EXISTING FIRE LANE STRIPING AND/OR YELLOW STRIPING TO REMAIN/BE REPAINTED.
 - (T) EXISTING PICKUP PAVEMENT MARKINGS TO BE REMOVED.
 - (U) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (V) NEW PICK UP CROSSWALK MARKINGS. SEE DETAIL.
 - (W) EXISTING ISLAND STRIPING TO BE REMOVED.
 - (X) NEW CHANNELIZATION AT PICK UP DOOR. SEE DETAIL.
 - (Y) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT AND/OR "ONLY" TEXT TO BE REPAINTED/REFRESHED TO MATCH CURRENT DETAILS.
 - (Z) EXISTING CROSSWALK TO REMAIN/BE REPAINTED.
 - (AA) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REPAINTED/REFRESHED TO MATCH CURRENT DETAILS.
 - (AB) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN/BE REUSED.
 - (AC) NEW TRAFFIC FROM THE LEFT DOES NOT STOP PLAQUE.
 - (AD) NEW TRAFFIC FROM RIGHT DOES NOT STOP PLAQUE.
 - (AE) NEW ONCOMING TRAFFIC DOES NOT STOP PLAQUE.
 - (AF) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
 - (AG) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REPAINTED/REFRESHED TO MATCH CURRENT DETAILS.
 - (AH) EXISTING 4" WIDE DOUBLE YELLOW AND/OR WHITE SINGLE STRIPE TO REMAIN/BE REPAINTED/REFRESHED/EXTENDED AS SHOWN ON PLANS.
 - (AI) NEW SOLID ARROW PAVEMENT MARKING.
 - (AJ) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN (NOT TO BE REPAINTED).
 - (AK) EXISTING PICKUP GRAPHIC AND ORANGE PAVEMENT MARKINGS TO REMAIN (NOT TO BE REPAINTED).
 - (AL) EXISTING PICKUP SIGN TO REMAIN.
 - (AM) EXISTING STRIPING TO BE REMOVED.
 - (AN) EXISTING "DO NOT ENTER" SIGN TO BE REMOVED.
 - (AO) NEW "EXIT ONLY" SIGN.
 - (AP) CROSSWALK TO BE REMOVED WITHIN LIMITS OF OUTLINE.
 - (AQ) NEW 8" WIDE SINGLE WHITE TRAVERSE LINE.
 - (AR) EXISTING PARKING STRIPING TO BE REMOVED.
 - (AS) NEW LEFT TURN ONLY SIGN.



NOTICE TO CONTRACTOR:
 STOP SIGNS MUST BE LOCATED A MINIMUM OF 4' OFF THE DRIVE AISLE AND 4' OFF THE BUILDING FRONTAGE ROAD. PEDESTRIAN CROSSING SIGNS MUST BE A MINIMUM OF 1' OFF THE DRIVE AISLE AND 4' OFF THE BUILDING FRONTAGE ROAD. THIS SHALL BE MEASURED FROM THE FACE OF CURB OR THE EDGE OF THE STRIPED ISLAND. REFER TO DETAILS FOR ADDITIONAL INFORMATION. SIGNS NOT INSTALLED IN THE PROPER LOCATIONS WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

- NOTES TO CONTRACTOR:**
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
 - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
 - WHERE SHOWN, EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BEB (BUILDING FRONTAGE ROAD) SHALL BE REMOVED BY SODA BLASTING OR DUSTLESS BLASTING. REMOVE ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
 - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
 - EXISTING CONDITIONS INFORMATION OBTAINED FROM ORIGINAL CONSTRUCTION PLANS BY CISO ENGINEERS AND SURVEYORS, DATED 02/17/2004. LIMITED FIELD DATA INFORMATION WAS OBTAINED FOR THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLING IMPROVEMENTS.



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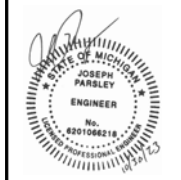
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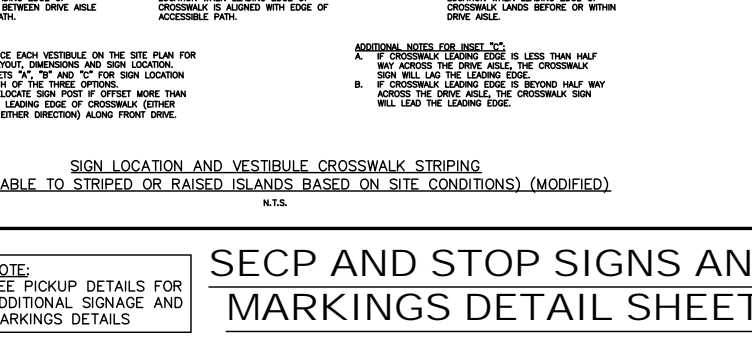
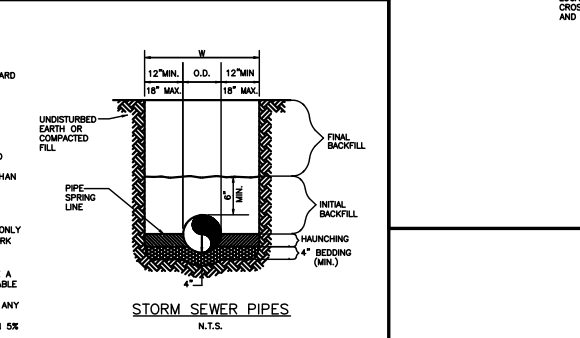
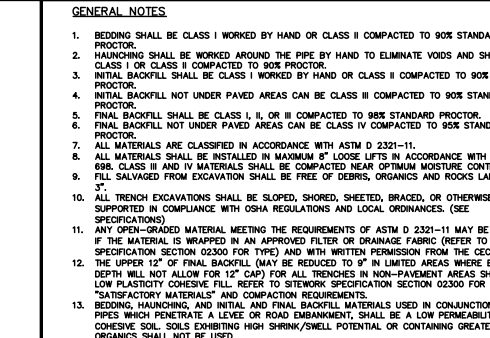
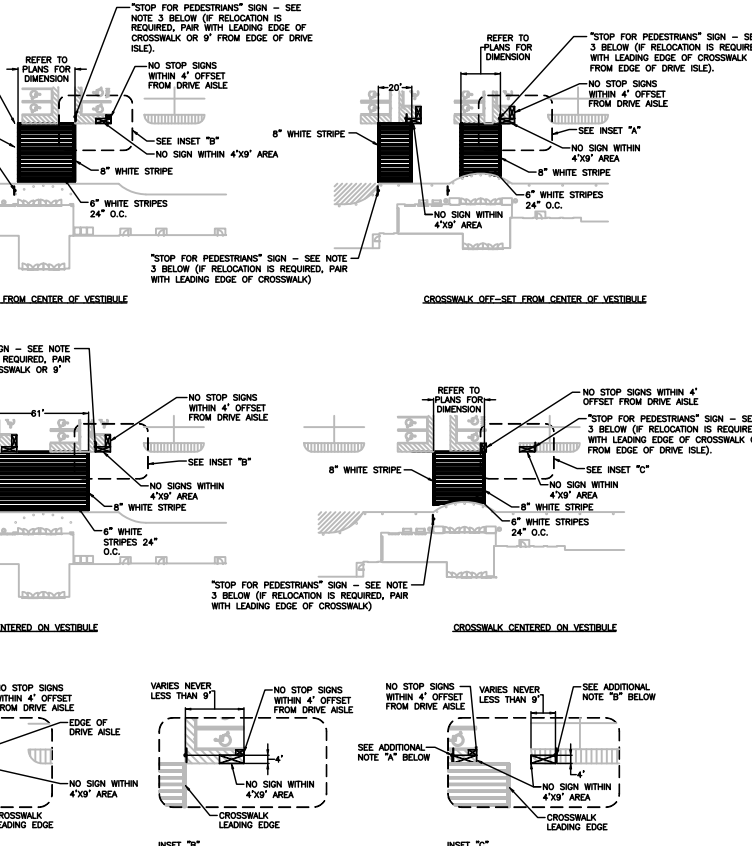
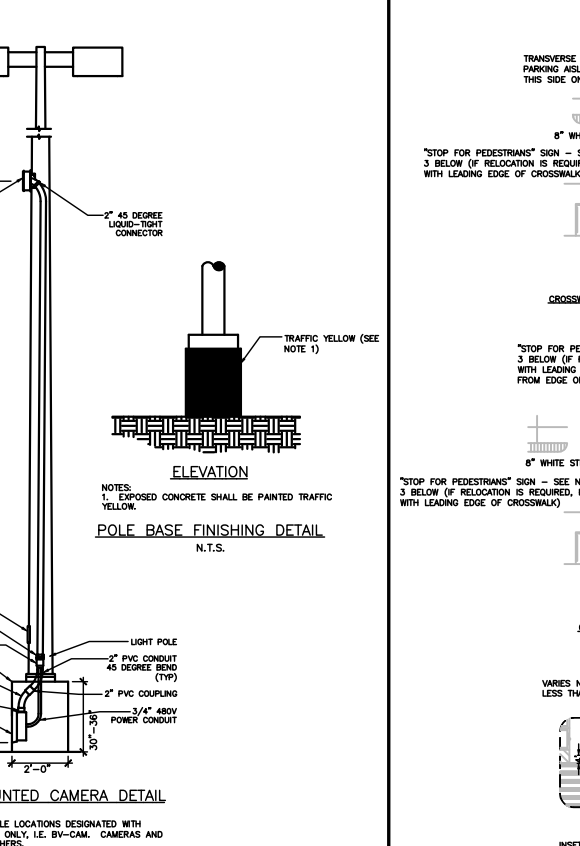
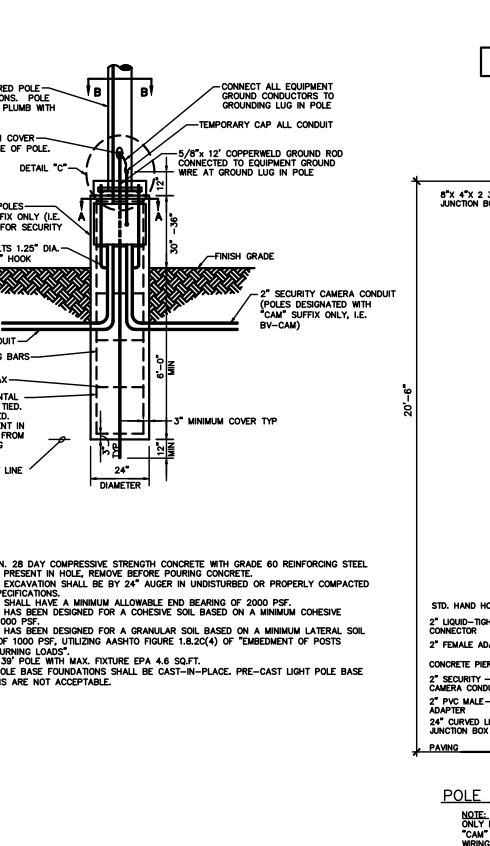
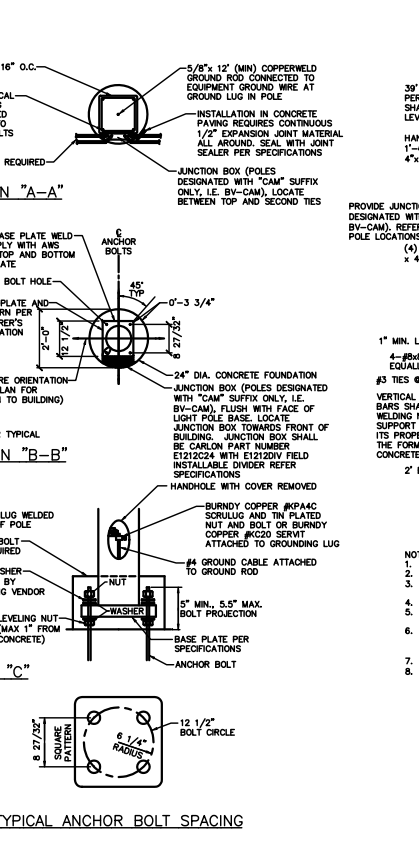
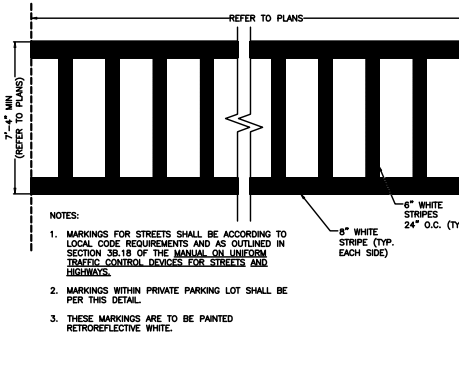
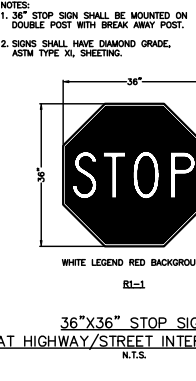
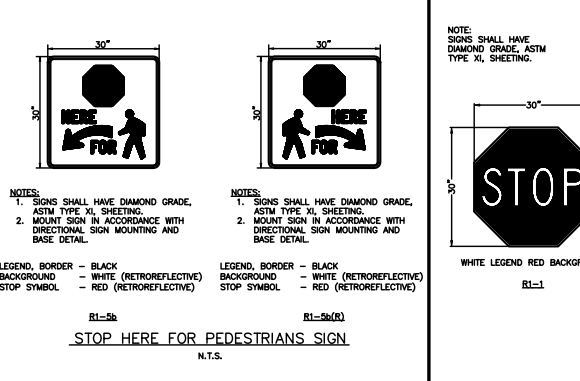
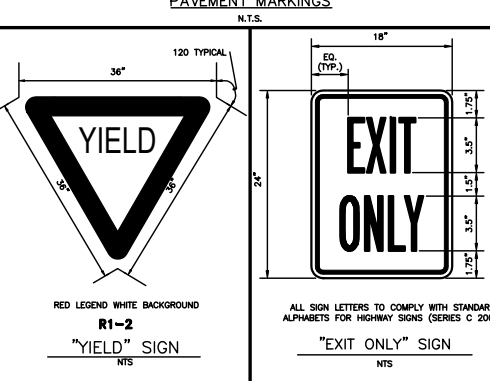
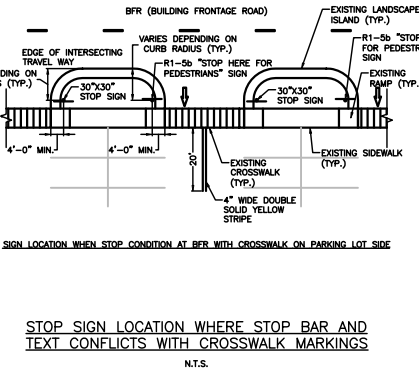
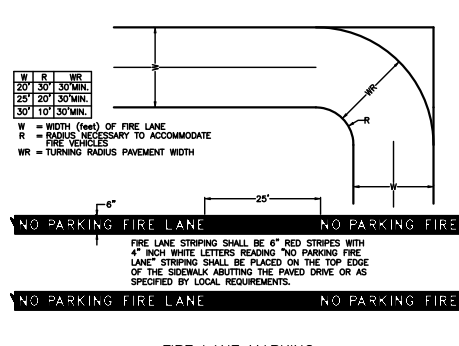
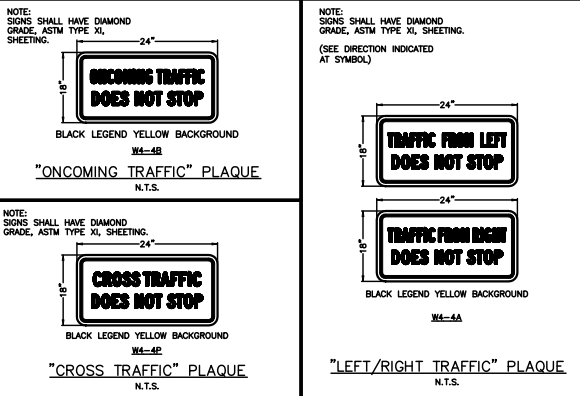
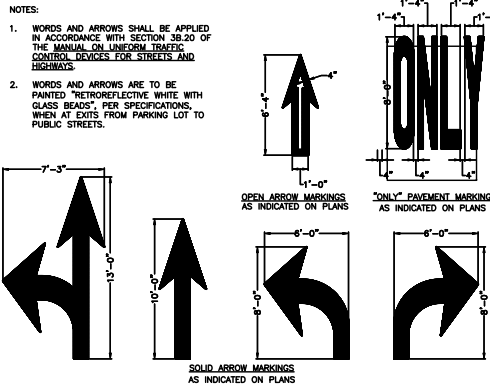
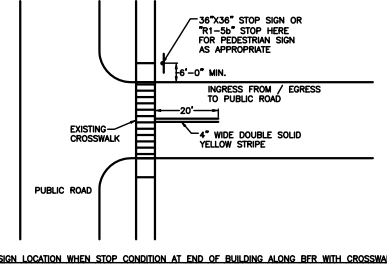
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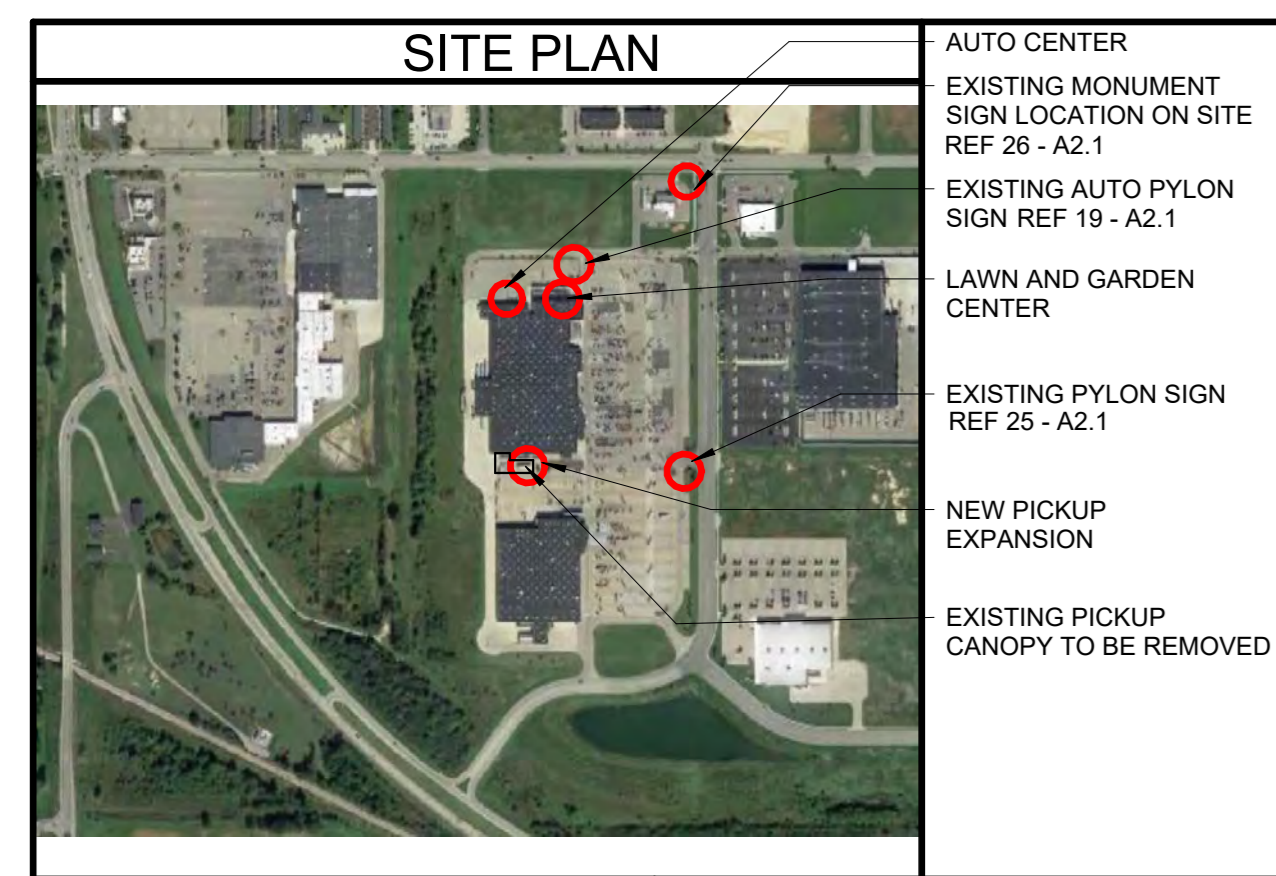
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JOSEPH PARBLEY
ENGINEER
No. 001884418
EXPIRES 12/31/2025

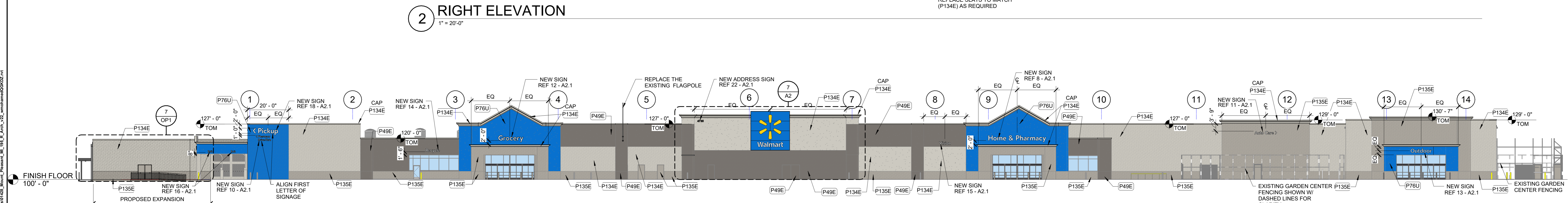
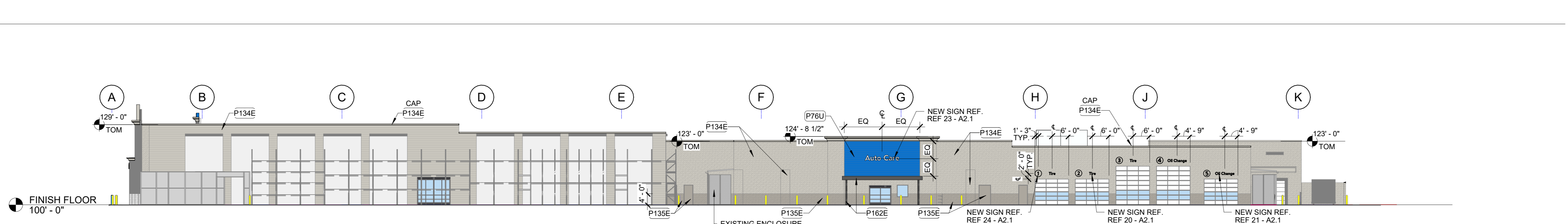
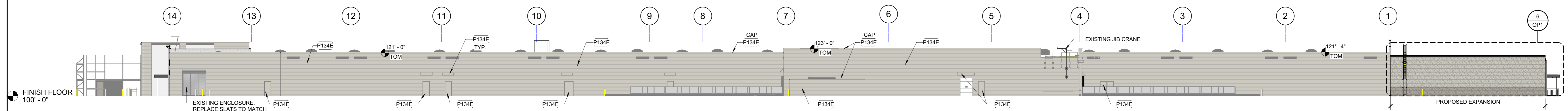
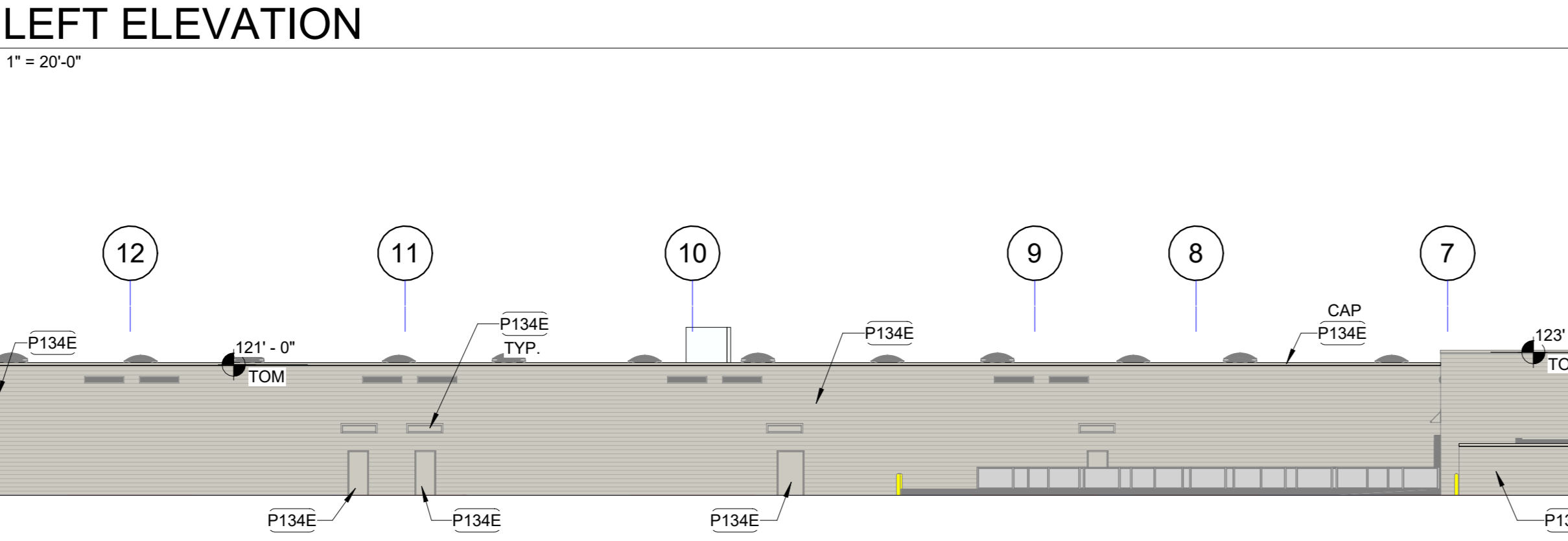
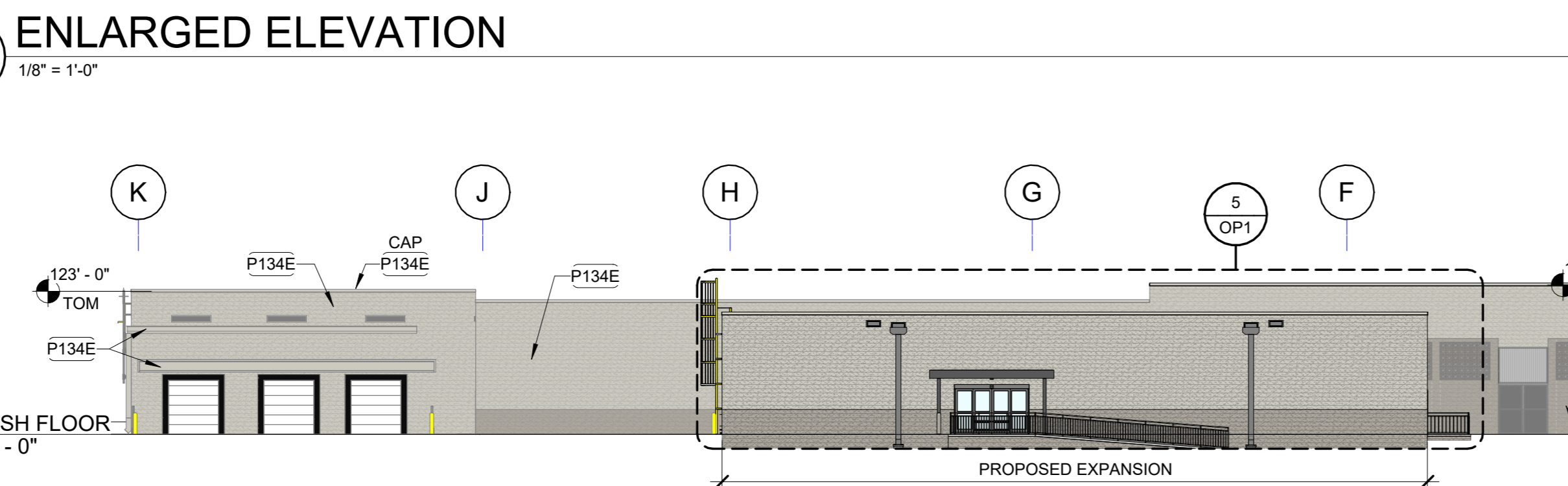
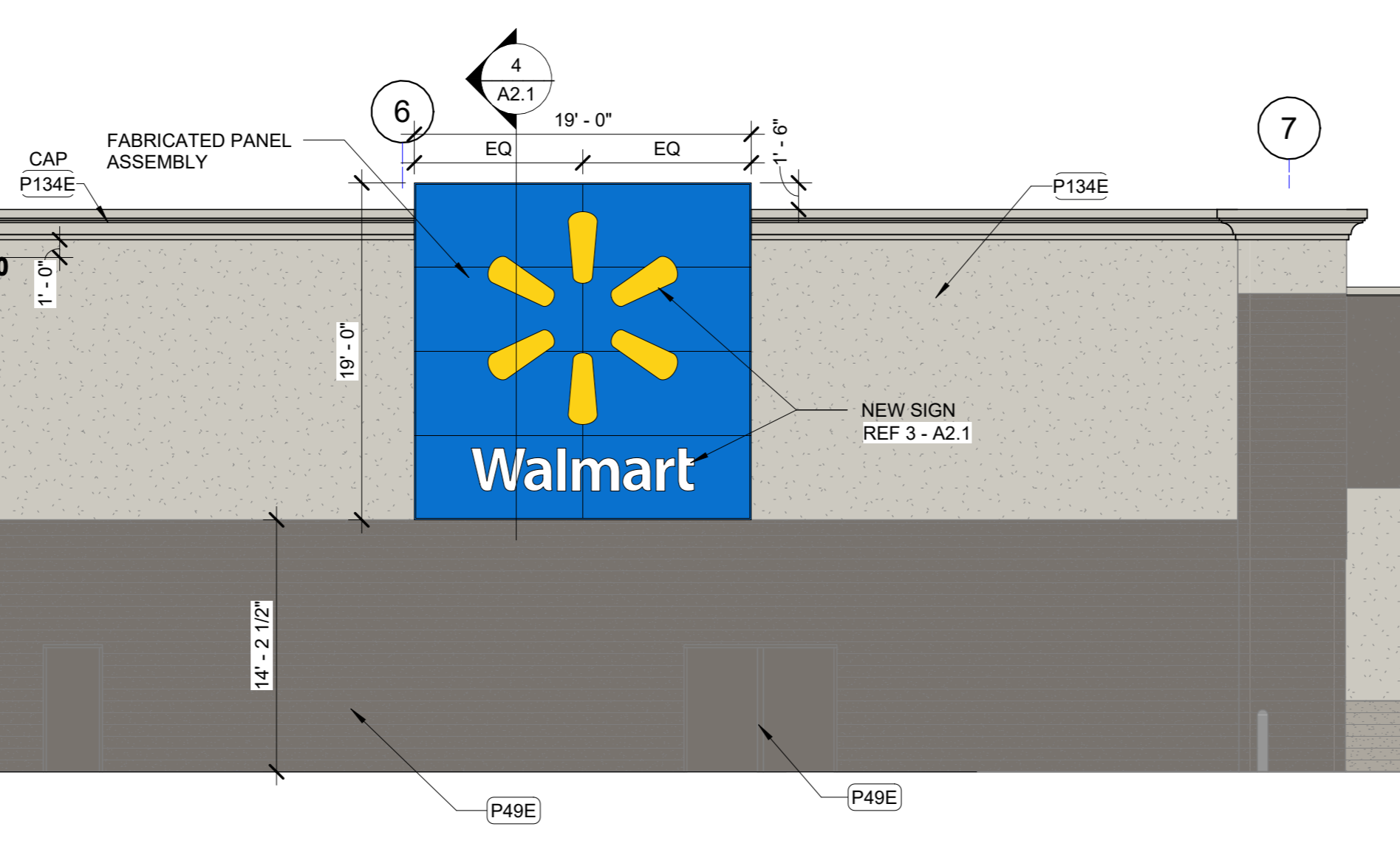
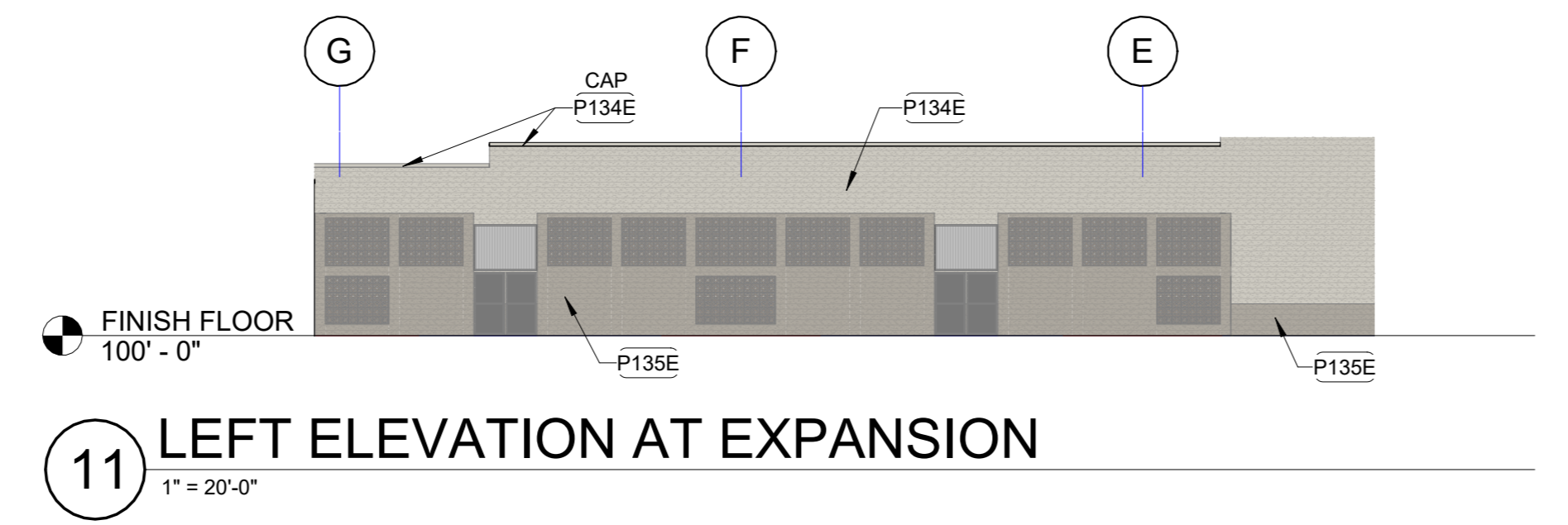


P#	COLOR NAME
P49E	DARK GRAY
P76U	WALMART BLUE (URETHANE-LIKE)
P134E	LIGHT GRAY
P135E	MEDIUM GRAY
P162E	BLACK GRAY
HRCH	HEAT RESISTANT COATING TO MATCH DARK GRAY

DESCRIPTION	AREA
PAINT RESTRICTIONS:	NONE
ALLOWED SIGNAGE SF:	620.34 SF
EXISTING SIGNAGE SF:	620.34 SF
PROPOSED SIGNAGE SF:	536.44 SF
VARIANCE / PROCESS:	APPEAL TO THE ZONING BOARD OF APPEALS. ANY PARTY WHO HAS BEEN REFUSED A SIGN PERMIT FOR A PROPOSED SIGN MAY FILE AN APPEAL WITH THE ZONING BOARD OF APPEALS, IN ACCORDANCE WITH SECTION 14.4 OF THIS ORDINANCE. IN DETERMINING WHETHER A VARIANCE IS APPROPRIATE, THE ZONING BOARD OF APPEALS SHALL STUDY THE SIGN PROPOSAL, GIVING CONSIDERATION TO ANY EXTRAORDINARY CIRCUMSTANCES, SUCH AS THOSE LISTED BELOW, THAT WOULD CAUSE PRACTICAL DIFFICULTY IN COMPLYING WITH THE SIGN STANDARDS. THE PRESENCE OF ANY OF THE CIRCUMSTANCES LISTED MAY BE SUFFICIENT TO JUSTIFY GRANTING A VARIANCE; HOWEVER, THE ZONING BOARD OF APPEALS MAY DECLINE TO GRANT A VARIANCE EVEN IF CERTAIN OF THE CIRCUMSTANCES ARE PRESENT.
	JUST LETTERING ON SIGN IS PART OF SQUARE FOOTAGE
	BLUE BACKGROUND IS NOT PART OF SIGNAGE SQUARE FOOTAGE
	SIGNAGE HEIGHT OF WALL OR 5 FEET ABOVE EYE FOR PARAPET.
	IF VARIANCE IS REQUIRED, THE BUILDING OFFICIAL WILL LET US KNOW.
	GENERAL REQUIREMENTS, WHERE A SIGN CONSISTS OF A GENERALLY FLAT SURFACE OR SIGN FACE ON WHICH LETTERING AND OTHER INFORMATION IS AFFIXED, THE SIGN AREA SHALL BE COMPUTED BY MEASURING THE ENTIRE FACE OF THE SIGN.
	SIGNS LISTED IN THIS SECTION ARE PERMITTED IN BUSINESS DISTRICTS, INCLUDING THE B-4, GENERAL BUSINESS DISTRICT, B5, HIGHWAY BUSINESS DISTRICT, AND B-7, RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT, SUBJECT TO THE FOLLOWING REQUIREMENTS: 1. NUMBER OF PERMANENT SIGNS PERMITTED, A MAXIMUM OF TWO (2) WALL SIGNS AND ONE (1) FREESTANDING SIGN ARE PERMITTED IN THE BUSINESS DISTRICTS. 1 SQ. FT. PER LINEAL FOOT OF BUILDING WIDTH.
	FOR NEW RTU MINOR SITE PLAN APPLICATION WILL BE REQUIRED FOR ENCLOSURES
	THERE ARE NO ORDINANCES REGARDING PAINT COLOR.

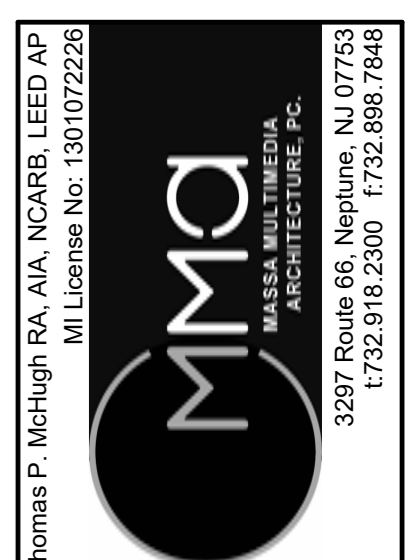
DISCLOSURES

- PAINT RESTRICTIONS: NONE
- ALLOWED SIGNAGE SF: 620.34 SF
- EXISTING SIGNAGE SF: 620.34 SF
- PROPOSED SIGNAGE SF: 536.44 SF
- VARIANCE / PROCESS: APPEAL TO THE ZONING BOARD OF APPEALS. ANY PARTY WHO HAS BEEN REFUSED A SIGN PERMIT FOR A PROPOSED SIGN MAY FILE AN APPEAL WITH THE ZONING BOARD OF APPEALS, IN ACCORDANCE WITH SECTION 14.4 OF THIS ORDINANCE. IN DETERMINING WHETHER A VARIANCE IS APPROPRIATE, THE ZONING BOARD OF APPEALS SHALL STUDY THE SIGN PROPOSAL, GIVING CONSIDERATION TO ANY EXTRAORDINARY CIRCUMSTANCES, SUCH AS THOSE LISTED BELOW, THAT WOULD CAUSE PRACTICAL DIFFICULTY IN COMPLYING WITH THE SIGN STANDARDS. THE PRESENCE OF ANY OF THE CIRCUMSTANCES LISTED MAY BE SUFFICIENT TO JUSTIFY GRANTING A VARIANCE; HOWEVER, THE ZONING BOARD OF APPEALS MAY DECLINE TO GRANT A VARIANCE EVEN IF CERTAIN OF THE CIRCUMSTANCES ARE PRESENT.
- JUST LETTERING ON SIGN IS PART OF SQUARE FOOTAGE
- BLUE BACKGROUND IS NOT PART OF SIGNAGE SQUARE FOOTAGE
- SIGNAGE HEIGHT OF WALL OR 5 FEET ABOVE EYE FOR PARAPET.
- IF VARIANCE IS REQUIRED, THE BUILDING OFFICIAL WILL LET US KNOW.
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- FOR NEW RTU MINOR SITE PLAN APPLICATION WILL BE REQUIRED FOR ENCLOSURES
- THERE ARE NO ORDINANCES REGARDING PAINT COLOR.



DEMOLITION NOTES	SHEET NOTES
<ol style="list-style-type: none"> REMOVE EXTERIOR TENANT SIGNS <ol style="list-style-type: none"> COORDINATE REMOVAL WITH WALMART CM AND TENANT PRIOR TO BEGINNING WORK DELIVER REMOVED TENANT SIGNS TO TENANT REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING <ol style="list-style-type: none"> COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS 	<ol style="list-style-type: none"> PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA) AT WALL(S) WITH LIT ID/LOGO SIGN(S) MASK AND PAINT AROUND SIGN CHARACTERS PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT ID/LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM IF PAINTING ADJACENT WALLS PAINT FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH PRIMARY ADJACENT BUILDING COLOR LINO PAINT ANY ROOFTOP GAS PIPING (P3E) <ol style="list-style-type: none"> WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING DO NOT PAINT METER OR VALVES IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL, UNO WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P33E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED INSTALL GRAY BOLLARD SLEEVE AT ALL ENTRANCE BOLLARDS. PAINT ALL SAFETY BOLLARDS (P5E). PAINT ALL OTHER PAINTED DECORATIVE BOLLARDS (P135E) PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES DO NOT PAINT LED WALL PACK HOUSINGS PART PAINT GARDEN CENTER FENCE STEEL DOORS AND FRAMES (P38E) PAINT STEEL DOORS AND FRAMES TO MATCH ADJACENT BUILDING WALL. IF THERE ARE TWO COLORS AT ADJACENT WALL, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME DO NOT PAINT QUIK-BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09900. PAINT JIB CRANE (P38E) ON JIB BOOM, (P3E) ON HANDRAILS. PAINT SPRINKLER VALVES (P21E) <ol style="list-style-type: none"> DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL

COLOR LEGEND
P5E SAFETY YELLOW
P21E SAFETY RED
P38E CREAM
P39E BLACK
P49E DARK GRAY
P76U WALMART BLUE (URETHANE-LIKE)
P134E LIGHT GRAY
P135E MEDIUM GRAY
P162E BLACK GRAY



STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT MAY BE SUBJECT TO LEGAL ACTION.

CONSULTANTS
194-23-016 PHOTO: 195



ISSUE BLOCK

CHECKED BY: MMA
DRAWN BY: WM
PROTO CYCLE: 06/30/23
DOCUMENT DATE: 10/10/23



EXTERIOR ELEVATIONS

SHEET: **A2**

WALK-IN COMPONENTS AND DOOR LEGEND

WDS NUMBER	QTY.	DESCRIPTION	NOTES
R0620.001	3	SWING DOOR WITH STRIP CURTAIN (42X90)	
R0700.000	2	PUSH THROUGH VESTIBULE (42X90)	

946 PICKUP STORAGE

- WALLS**
 - EXISTING WALLS TO REMAIN
 - NEW WALLS DO NOT PAINT
- FLOOR**
 - NEW EC
- CEILING**
 - OPEN TO STRUCTURE, NO FINISH

DEMO NOTES

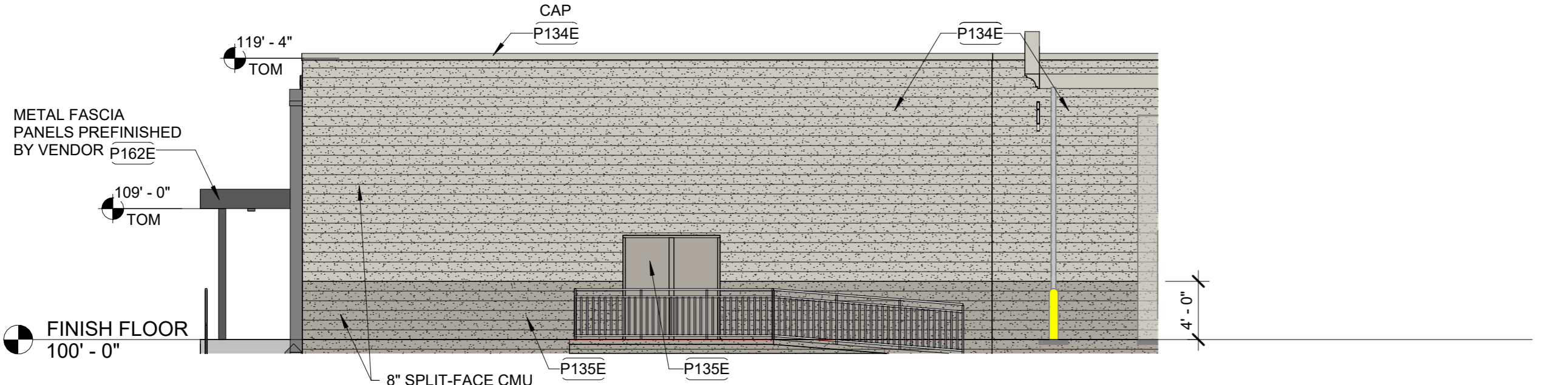
- SALES FLOOR TO BE ACCESSIBLE TO CUSTOMERS DURING NON-CONSTRUCTION HOURS
 - REMOVE CONSTRUCTION FENCING AND DUST WALLS INTERFERING WITH CUSTOMER CIRCULATION OR ACCESS
- DEMOLITION INCLUDES BUT IS NOT LIMITED TO ITEMS SHOWN DASHED
- REMOVE ALL DOORS SHOWN DASHED
 - REFER TO DOOR SCHEDULE FOR DOOR AND FRAME REPLACEMENT
- COORDINATE REMOVAL AND DISPOSAL OF EXISTING FIXTURES WITH MECHANICAL SERVICES CONSTRUCTION MANAGER
- REMOVAL OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OTHERS

KEYNOTES

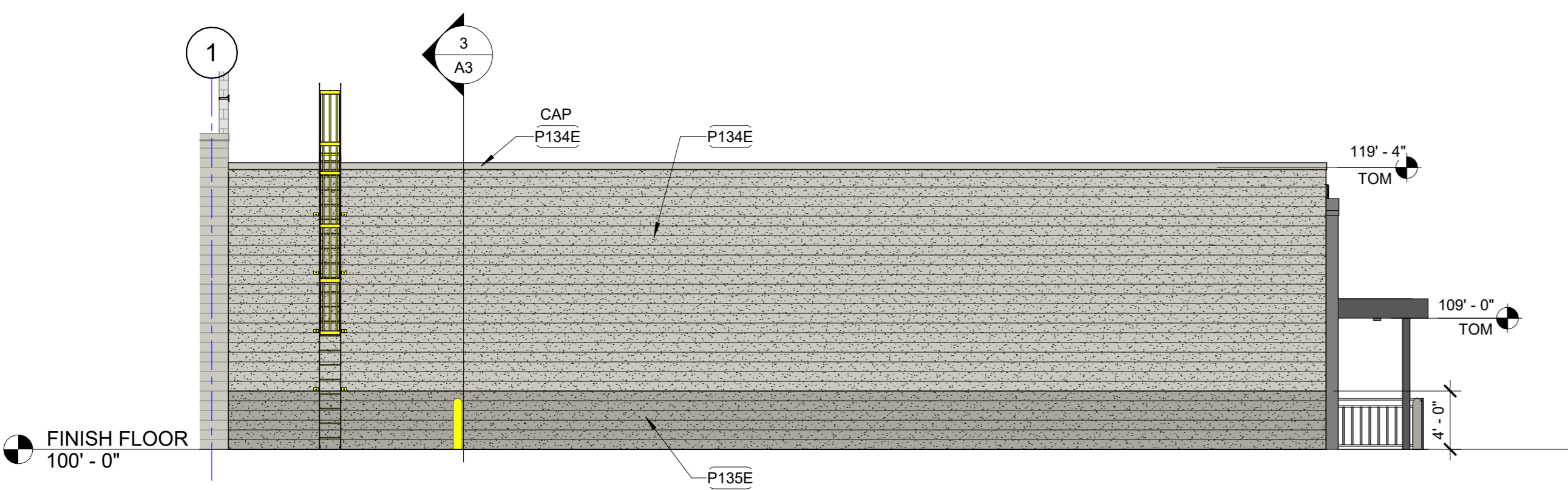
- STEEL PROTECTOR ANGLE.

SHEET NOTES

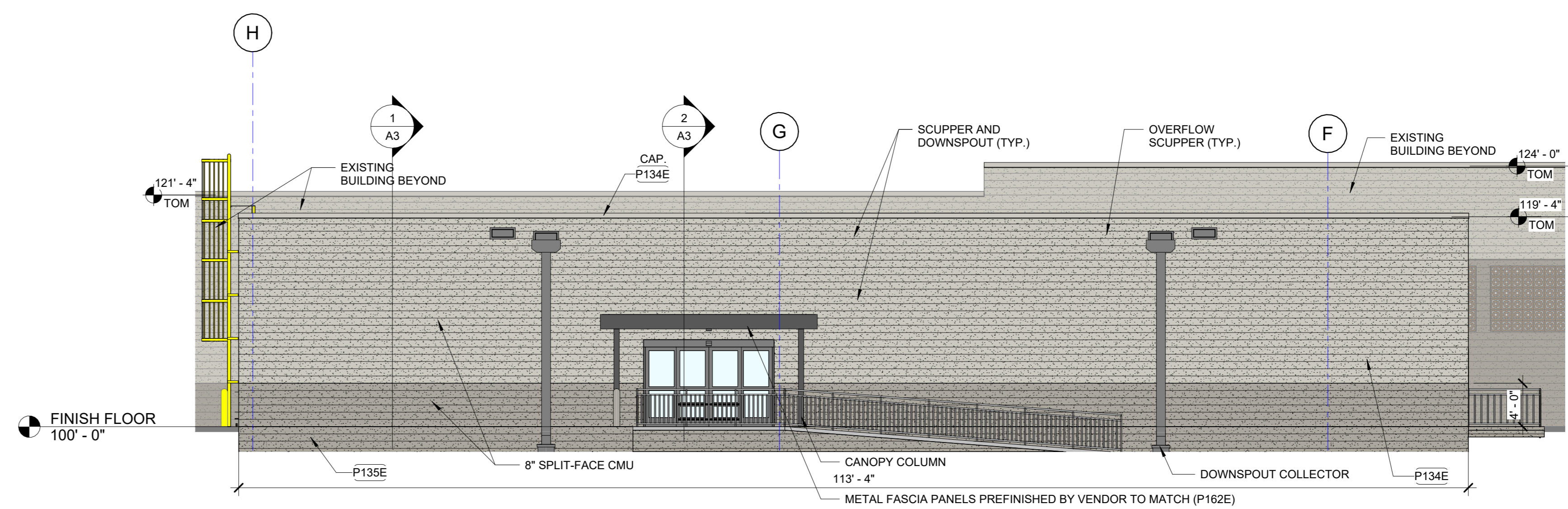
- ALL STEEL RACKS TO BE FURNISHED BY WALMART AND ANCHORED BY CONTRACTOR
 - REFER TO RACK ANCHORAGE PLAN FOR STEEL RACK AND/OR GONDOLA SHELVING FIXTURE ANCHORING REQUIREMENTS
- REPAIR BOLT HOLES AND SPALLS RESULTING FROM MERCHANDISE FIXTURE AND OR STORAGE RACK RELOCATION OR REMOVAL. REF SPEC 03905
 - FILL ALL BOLT HOLES AND SPALLS RESULTING FROM FIXTURE AND OR STORAGE RACK RELOCATION OR REMOVAL IN NON CUSTOMER ACCESSIBLE AREAS WITH NON SHRINK GROUT
- STUD WALL DIMENSIONS ARE TO FACE OF STUDS
- WALLS AND INFILL OF EXISTING OPENINGS ARE TO MATCH CONSTRUCTION AND FINISHES OF ADJACENT EXISTING WALLS
- ROUTE ALL UTILITY SERVICE LINES, PIPES AND CONDUIT, WITHIN EXISTING ADJACENT STUD WALLS WHEREVER POSSIBLE
 - ON COOLER/FREEZER PANELS IN FOOD PREP AREAS WHERE UTILITIES MUST BE EXPOSED, CONTRACTOR TO HAVE OPTION OF FOLLOWING:
 - SURFACE MOUNT UTILITIES WITH NON-CORROSIVE ANCHORS; SEAL BOTH SIDES OF PIPE/CONDUIT TO PANEL CONTINUOUSLY WITH SEALANT
 - INSTALL UTILITIES 1/2" OFF FACE OF PANEL TO ALLOW FOR CLEANING; USE ONLY NON-CORROSIVE ANCHORS; APPLY CONTINUOUS SEALANT ALONG EDGES AND JOINTS
 - COVER UTILITIES WITH 20 GAUGE STAINLESS STEEL BENT PLATES MOUNTED TO WALL WITH NON-CORROSIVE ANCHORS; APPLY CONTINUOUS SEALANT ALONG EDGES AND JOINTS
- RELOCATION AND SETUP OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OWNER
 - ANCHORING OF UPRIGHTS TO BE PERFORMED BY GENERAL CONTRACTOR
 - ON SPECIAL PROJECTS, RELOCATION AND SETUP OF GONDOLAS AND/OR RACKING AS INDICATED ON THIS SHEET WILL BE PERFORMED BY GC
 - ON SPECIAL PROJECTS, RELOCATION AND SETUP OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OWNER
- REMOVAL OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OWNER
 - ON SPECIAL PROJECTS, REMOVAL OF GONDOLAS AND/OR RACKING AS INDICATED ON THIS SHEET WILL BE PERFORMED BY GC
- LOCATE ALL 44" DEEP RACKS 6" FROM WALLS AND COLUMNS UNO
- LOCATE ALL RACKS LESS THAN 44" DEEP 3" FROM ALL WALLS AND COLUMNS UNO



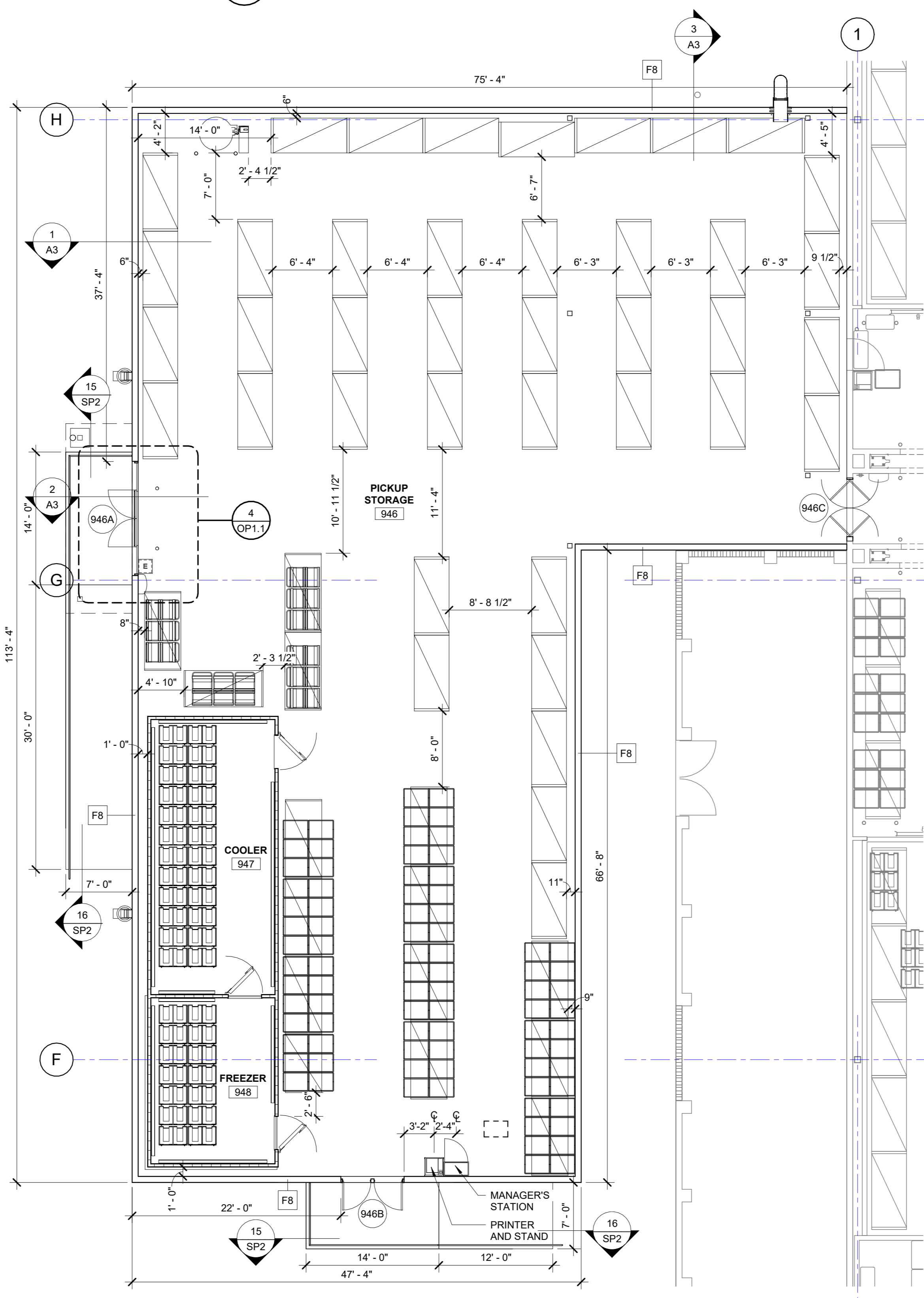
7 FRONT ELEVATION - OPU 2.0
1/8" = 1'-0"



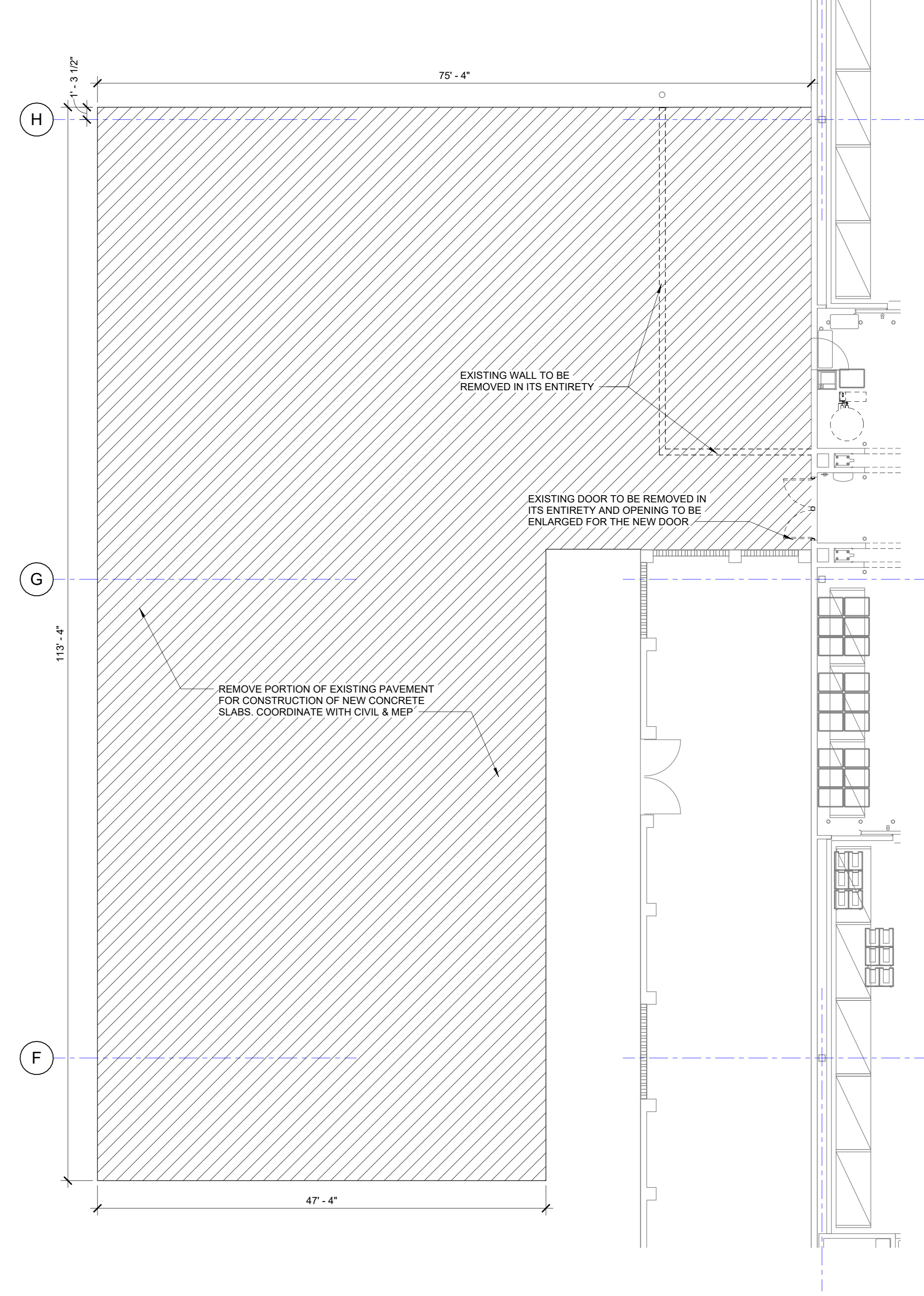
6 REAR ELEVATION - OPU 2.0
1/8" = 1'-0"



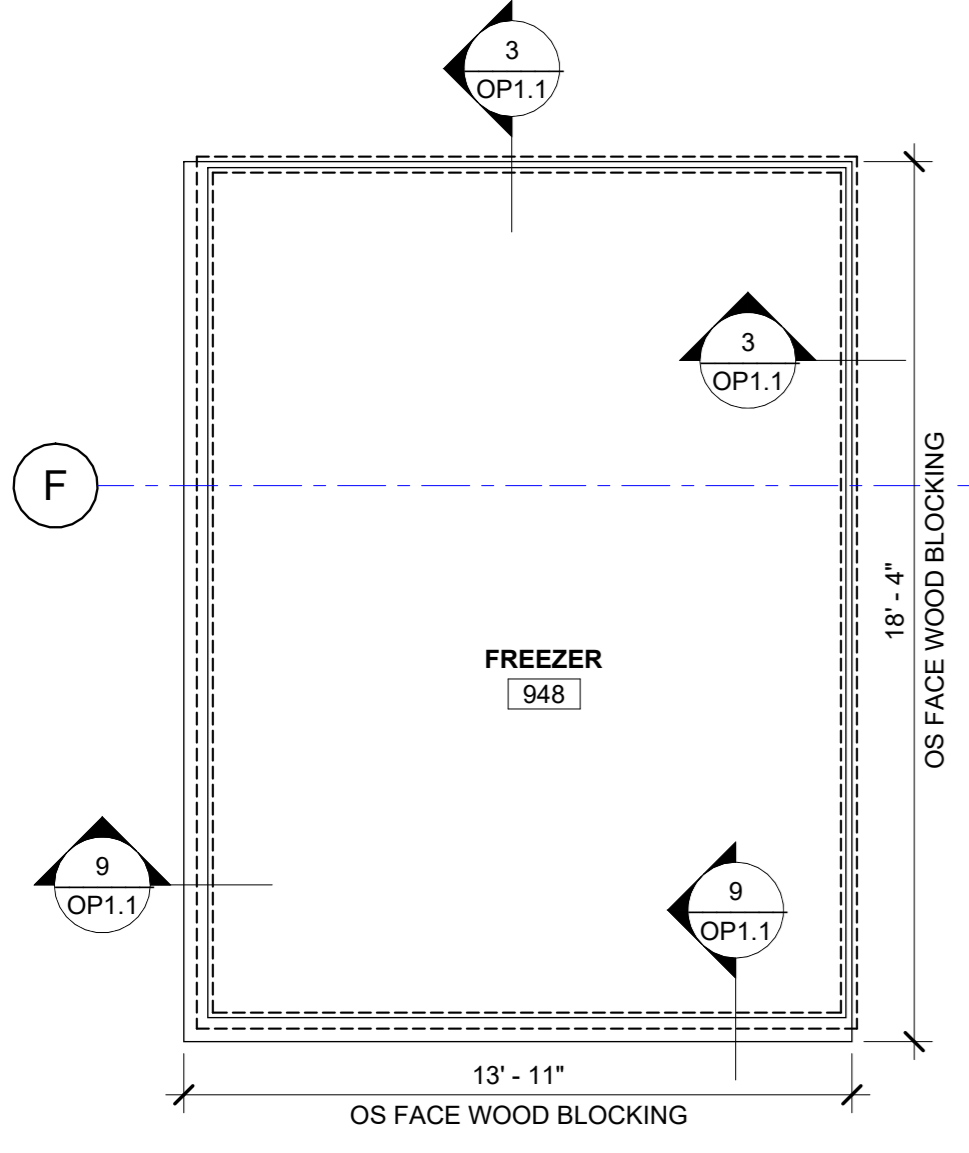
5 LEFT ELEVATION - OPU 2.0
1/8" = 1'-0"



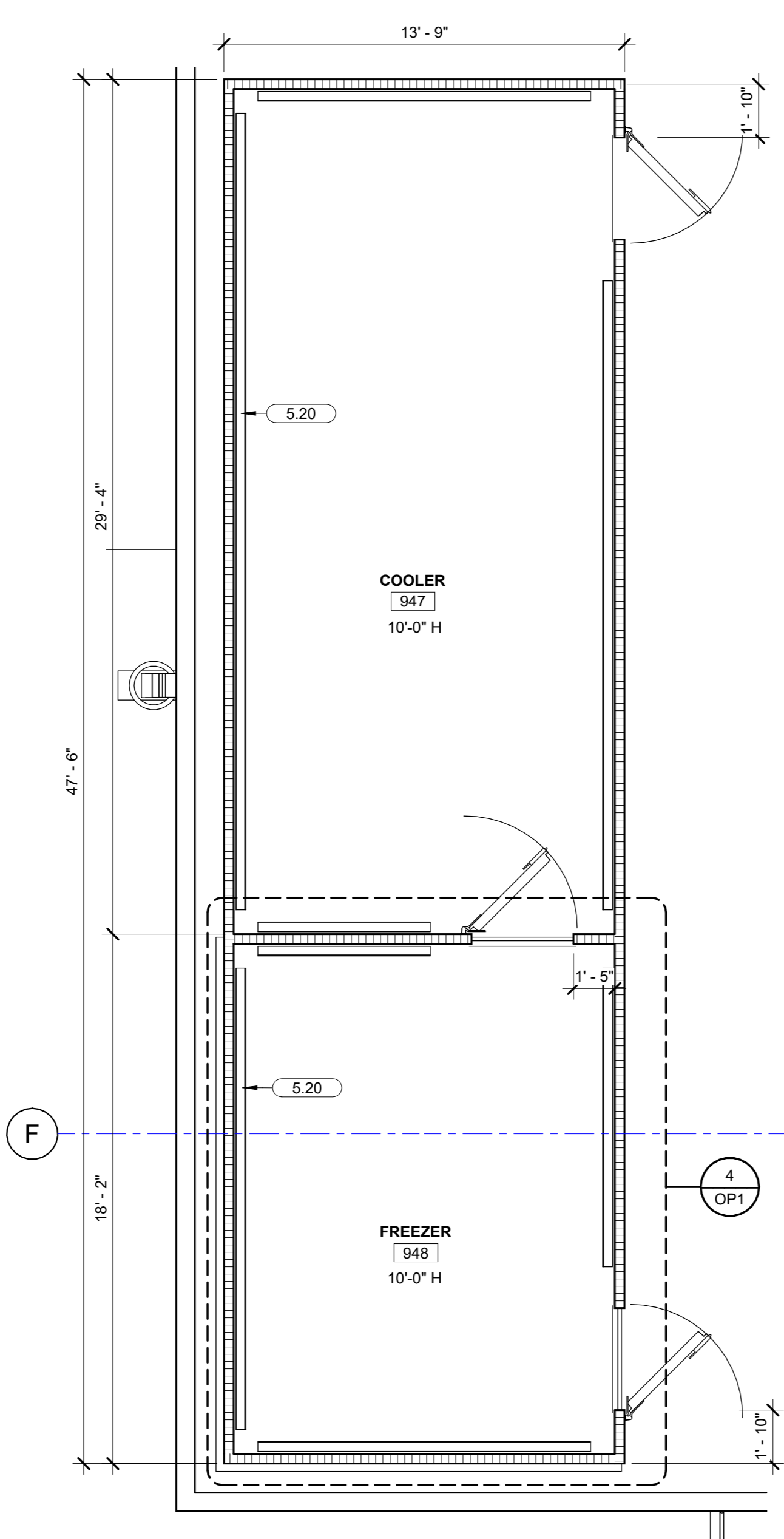
2 PICKUP PLAN
1/8" = 1'-0"



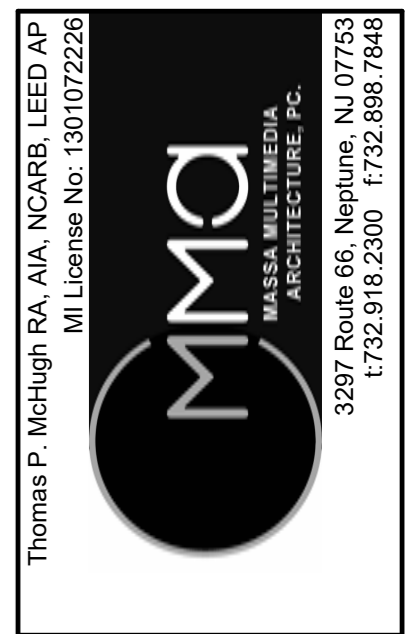
1 PICKUP DEMO PLAN
1/8" = 1'-0"



4 FREEZER UNDERSLAB PLAN
1/4" = 1'-0"



3 FREEZER/COOLER PLAN
1/4" = 1'-0"



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CONSULTANTS

Walmart
MOUNT PLEASANT, MI
4730 ENCORE DR.
STORE NO. 01428-275
JOB NUMBER: 194-23-016 | PHOTO: 195

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: MMA
DRAWN BY: WM
PROTO CYCLE: 06/30/23
DOCUMENT DATE: 10/10/23



ONLINE PICKUP PLANS AND DETAILS

SHEET: **OP1**

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	November 8, 2023
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	B-5, Highway Business District
PROJECT:	PRESPR23-04 Preliminary Site Plan approval – Proposed 6,672 square-foot expansion of the Walmart building to add a new pick-up service area along with associated parking lot and ingress/egress improvements to the site.		
PARCEL(S):	PID 14-026-30-001-06		
OWNER(S):	Walmart		
LOCATION:	Approx. 20.4 acres located at 4730 Encore Blvd. in the SW 1/4 of Section 26.		
EXISTING USE:	retail store	ADJACENT ZONING:	B-5
FUTURE LAND USE DESIGNATION:	<i>Bluegrass Service District:</i> While currently more auto-centric, this area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.		
ACTION:	To review and act on the PRESPR23-04 preliminary site plan dated 10/10/2023 for a 6.672 square-foot expansion of the Walmart building to add a new pick-up service area along with associated parking lot and ingress/egress improvements to the site located at 4730 Encore Blvd. in the SW 1/4 of Section 26 and in the B-5 (Highway Business) District.		

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.” Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Background Information

The “Union Commons” development along Encore Blvd. began in the mid 2000’s. Before that time, Walmart was located at the Indian Hills Plaza to the west. Walmart began designating an area to the south of their existing building for online order pick-up in the latter part of last decade. Due to the popularity of this online pick-up service, Walmart has proposed a building expansion with new dedicated spaces for Walmart pick-up orders.

As part of the new Sam’s Club filling station project to the south, new sidewalks were very recently completed along the west side of Encore Blvd., including the Walmart frontage. This will help to fill a need for safer pedestrian connectivity in the area, which sees a significant amount of pedestrian activity.

As part of this current project, longstanding safety deficiencies related to vehicle turning movement conflicts around the north and south entrances into the Walmart parking lot are proposed to be addressed by the applicant.

Standards for Alterations to a Nonconforming Site (Section 12.5)

The Walmart development is a “nonconforming site” as defined in the Zoning Ordinance because it was developed prior to adoption of the current Ordinance’s site development standards and does not fully conform to those standards.

Section 12.5 (Nonconforming Sites) prioritizes required improvements to such sites, which may be improved or modified without a complete upgrade of all site elements, subject to compliance the following conditions (listed below in bold with staff comments following):

- A. A nonconforming site shall not be improved or modified in a manner that increases its nonconformity.** The proposed improvements conform to this standard.
- B. The proposed site improvements shall address public health, safety, and welfare by resolving public safety deficiencies and pedestrian/vehicle conflicts and improving emergency access.** The proposed scope of improvements includes significant changes needed to improve safety around the north and south vehicle entrances into the Walmart parking lot. The recently constructed sidewalks are also a safety improvement.
- C. The site plan shall also include improvements in at least three (3) of the ten (10) broad categories listed in Section 12.5.C.** The proposed site plan more than satisfies this standard, with improvements in at least three (3) of the categories as noted below:
 - 2. Pedestrian access improvements.** The recently constructed sidewalks provide improved connectivity for pedestrian access.
 - 3. Vehicular access and circulation improvements.** In addition to the entrance improvements, the parking lot layout will be restriped and adjusted around the perimeter to improve access and circulation.
 - 4. Building design or exterior facade improvements.** The south side of the existing building will be improved with the proposed building addition.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** With the exception of details noted elsewhere in this report that could be addressed by the applicant on the final site plan for this project, the site plan can conform to the minimum Section 14.2.P. information requirements for a preliminary site plan. **CAN CONFORM**
2. **Section 8 (Environmental Performance Standards).** The hazardous substance reporting form and EGLE permit checklist form are not included in the application materials. These forms are typically turned in with the preliminary plans but will need to be completed for final site plan approval. **CAN CONFORM**
3. **Section 9 (Off-Street Parking...).** The plan uses the correct parking formula of 1 space required per 275 SF of UFA. This would require 648 total parking spaces. The current site has 1,040 spaces. The proposed new number is 956 total spaces. The width of the new parking spaces in the pick-up area are 10-feet and the length of the 90-degree parking proposed is 19-feet, which conforms to or exceed minimum Ordinance standards. However, the parking length for the 60-degree parking is 18-feet when a slightly longer 18.2-foot minimum is required.

Per Section 9.1.C.5., at least one (1) Open Short-Term Bicycle Parking space is required for this 6,672 SF expansion, which will need to be shown the final site plan in a highly visible and accessible area at least three (3) feet from adjacent walls, poles, landscaping, street furniture, drive aisles, and primary pedestrian routes and at least 6 feet from vehicle parking spaces. A space that would work is the area north of the Pharmacy drive thru. The following details will need to be provided on the final site plan:

Add the required bicycle parking facility for the addition to the final site plan.

Correct the 60-degree parking to a minimum length of 18.2-feet. **CAN CONFORM**

4. **Section 9.5 (Off-Street Loading).** The existing Walmart building has a substantial loading area that conforms to Ordinance standards. Any building expansion from 5 – 19,000 square feet requires a loading area. The area needs to be a minimum of 10 feet wide, 50 feet long, and have a 15-foot clearance. The Planning Commission may modify these requirements upon making the determination that another standard would be more appropriate because of the number or type of deliveries experienced by a particular business or use. The following details will need to be provided on the final site plan:

Staff would have no objection to the applicant labeling and defining the proposed pick-up parking spaces as the loading area for this building addition. A note would need to also be included on the same plan sheet requesting to modify the loading area dimensional requirement, if needed. **CAN CONFORM**

5. **Section 7.10 (Sidewalks and Pathways).** As part of the Sam’s Club filling station project a sidewalk along Encore Blvd was constructed. **CONFORMS**

Additional Comments - Looking Ahead to the Final Site Plan

6. **Stormwater management.** The Walmart site is served by the Union Commons regional stormwater management system that drains to a pond at the south end of Encore Blvd. Staff observed that the proposed building addition and scope of proposed site improvements would appear to result in a slight decrease in the overall impervious surface area on the site. If confirmed, the requirements of the Township’s Stormwater Management Ordinance for additional improvements would not apply. The following details will need to be provided on the final site plan:
 - Calculations for existing and proposed impervious surface areas and the net change.
7. **Section 8.2 (Exterior Lighting).** No new exterior lighting is shown on the plan. Any new fixtures, including building-mounted lighting, must conform to Section 8.2 standards.
8. **Outside agency approvals.** The applicant is responsible for obtaining all necessary outside agencies permits or approvals prior to submittal of a final site plan application, including Isabella County Transportation Commission, Township Public Services, Isabella County Road Commission, and Mt. Pleasant Fire Department.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

- The scope of proposed improvements is consistent with the provisions of Section 12.5 (Nonconforming Sites).
- With the exception of some details that can be addressed on the final site plan, the plan conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval) for a preliminary site plan.

Recommendations

Based on the above findings, I recommend approval of the PRES23-04 preliminary site plan application as presented.

Please contact me at (989) 772-4600 ext. 232 or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP – Community and Economic Development Director

Draft Motions: PRESPR 23-04 Preliminary Site Plan Review Application
Walmart Building Addition

MOTION TO APPROVE THE PRELIMINARY SITE PLAN AS PRESENTED:

Motion by _____, supported by _____, to approve the PRESPR23-04 preliminary site plan dated October 10, 2023 for a 6.672 square-foot expansion of the Walmart building to add a new pick-up service area along with associated parking lot and ingress/egress improvements to the site located at 4730 Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the site plan fully complies with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE THE PRELIMINARY SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PRESPR23-04 preliminary site plan dated October 10, 2023 for a 6.672 square-foot expansion of the Walmart building to add a new pick-up service area along with associated parking lot and ingress/egress improvements to the site located at 4730 Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the site plan can comply with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PRESPR23-04 preliminary site plan dated October 10, 2023 for a 6.672 square-foot expansion of the Walmart building at 4730 Encore Blvd. until _____, 202__ for the following reasons:

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PRESPR23-04 preliminary site plan dated October 10, 2023 for a 6.672 square-foot expansion of the Walmart building to add a new pick-up service area along with associated parking lot and ingress/egress improvements to the site located at 4730 Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:



EXTENSION OF FINAL SITE PLAN APPROVAL REPORT

TO:	Planning Commission	DATE:	November 2, 2023
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	B-5 Highway Business District
PROJECT:	PSPR22-04 Krist Oil Filling Station – Extension of Final Site Plan Approval, 4972 E. Pickard Rd. (M-20).		
PARCEL(S):	PID 14-014-20-041-01		
OWNER(S):	KSK Inc.		
LOCATION:	3.345 acres at the SW corner of E. Pickard Road and S. Isabella Road in the NE 1/4 of Section 14.		
ACTION REQUESTED:	To approve a 365 calendar day extension to October 15, 2024 for the approved PSPR22-04 final site plan for the new Krist Oil Filling station at 4972 E. Pickard Road (PID 14-014-20-041-01).		

Status of the Special Use Permit for this Project

A special use permit for a filling station on this site was approved in 2021. The approved special use permit does not expire.

Status of the Final Site Plan Approval

Per Section 14.02.Q.2. (Expiration and Extension of Site Plan Approval), *“A final site plan shall expire and be of no effect unless construction has begun on the property and is diligently pursued in conformance with the approved final site plan within 545 calendar days of the final site plan approval.”*

On 4/19/2022, the Planning Commission approved the PSPR22-04 final site plan for the new Krist Oil Filling station subject to several conditions that were subsequently satisfied by the developer. Initial site work was completed, including demolition of existing structures and burying of the new underground fuel storage tanks in accordance with state permits. A building permit was also issued by the Township for the new construction, but no above-ground construction has taken place.

The delay in starting this project is primarily due to the reconstruction of E. Pickard Rd. (M-20) by the Michigan Department of Transportation (MDOT). The subject lot has been used during this construction project for temporary parking of equipment on a number of occasions, and the scope of work and lane closures created logistical challenges for the Krist Oil construction. With the completion of the M-20 reconstruction, the company now plans to start construction of the new filling station in the Spring of 2024.

Extension of Final Site Plan Approval Comments

Per Section 14.02.Q.3. (Expiration and Extension of Site Plan Approval):

The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a...final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.

The following review comments are based on these provisions for granting of an extension of site plan approval:

1. **Written request and showing of good cause by the applicant.** The applicant has provided a letter dated November 2, 2023 making this request for an extension. Please note that the 7/12/2024 date listed in the letter is incorrect (it appears to be based on the original date listed on the final site plan rather than the date of Planning Commission approval). The correct date of a 365-day extension would be 10/15/2024.

Although the letter does not list any reasons for the extension, staff would recommend that the Planning Commission consider the Background Information provided in this report about the M-20 reconstruction project when considering whether or not there is good cause for this extension.

Staff has no objection to Planning Commission approval of the requested extension.

2. **Site conditions have not changed in a way that would affect the character, design or use of the site.** There have been no changes in the conditions of the site or adjacent roads that would adversely impact the approved site design or intended filling station use. The M-20 road improvements were specifically designed and constructed by MDOT to coordinate with the approved Krist Oil final site plan.
3. **Approved (final) site plan remains in conformance with applicable provisions of (the Zoning) Ordinance.** The approved final site plan for the Krist Oil Filling Station remains in full conformance with all applicable Zoning Ordinance requirements and standards.

Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action by **motion to approve a 365 calendar day extension to October 15, 2024 for the approved PSPR22-04 final site plan for the new Krist Oil Filling station at 4972 East Pickard Road (PID 14-014-20-041-01), finding that the provisions of Section 14.02.Q.3. for an extension have been satisfied.**

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director



November 2, 2023

Mr. Rodney Nanney, Community & Economic Development Director
City of Mount Pleasant
2010 S. Lincoln
Mt. Pleasant, MI 48858

**Permit Extension 4972 E Pickard Rd on Behalf of Krist Oil Company and KSK
(Permit Number: PB230003)**

Dear Mr. Nanney:

Construction of the Krist Oil Food Mart was delayed due to MDOT road construction. KSK intends to begin construction during the spring of 2024. There are no proposed changes to the site plan. We hereby request that the City approves a formal extension of the site plan review and building permit for 365 calendar days (July 12th, 2024).

If you have any questions, comments, or require additional information, please do not hesitate to contact Craig at 906.284.3903 or crichardson@wickwiresolutions.com.

Sincerely,

WICKWIRE, P.C.

Craig Richardson, P.E.
President

Logan Schmutzler,
Project Engineer

Cc: WW File 23029-1015

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